

SUMMARY OF AREAS:

BASEMENT ENTRY LEVEL AREAS:	4,265 S.F.
STREET LEVEL AREAS:	3,523 S.F.
*MASTER BEDROOM AREA:	1,914 S.F.
*DEN AREA / BEDROOMS:	1,609 S.F.
TOTAL:	7,788 S.F.
ATTACHED 4-CAR GARAGE AREA:	1,050 S.F.
LOWER DECK AREA:	210 S.F.
UPPER DECK AREA:	739 S.F.
ROOF AREA:	3,631 S.F.

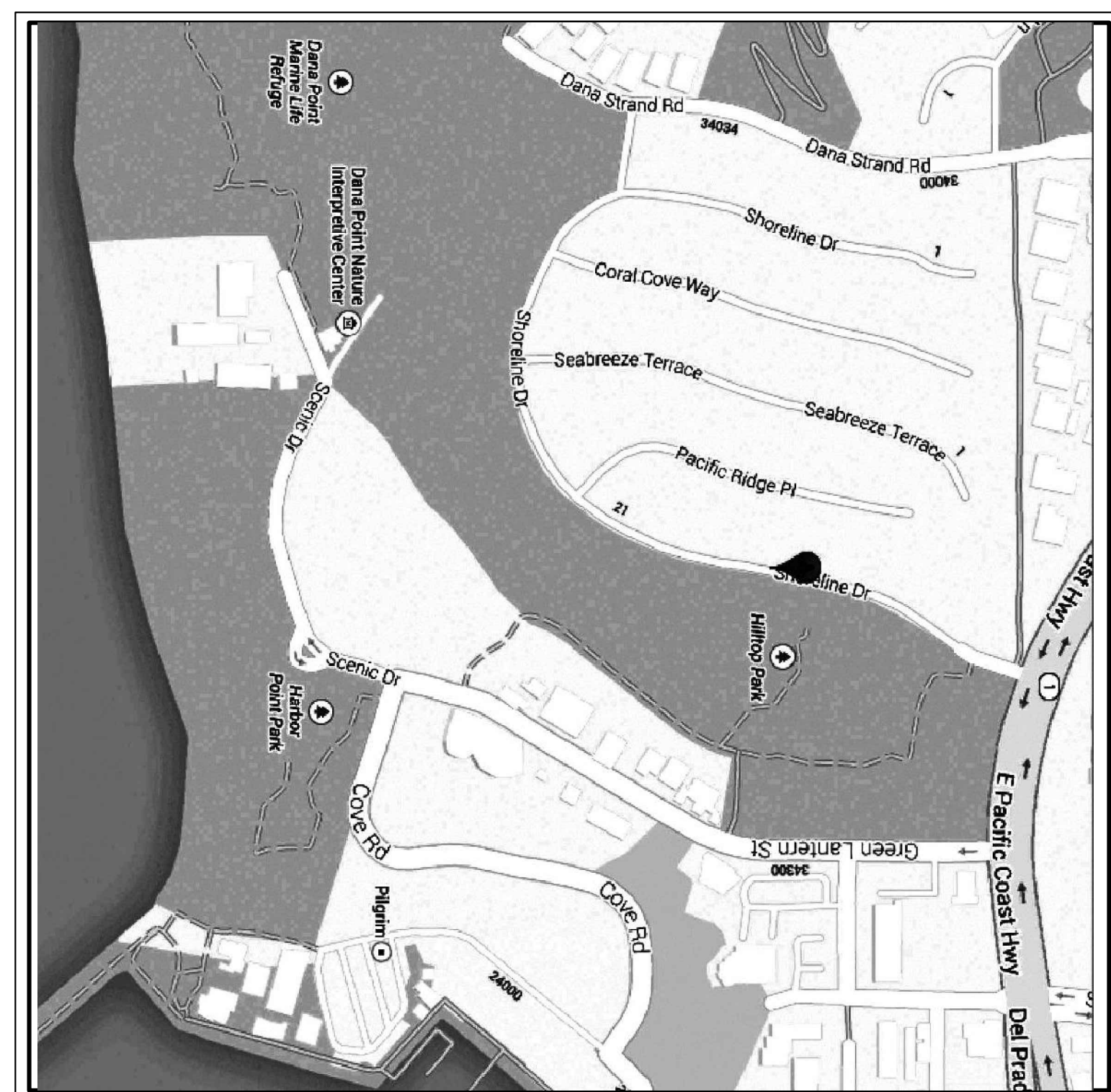
NOTES

- The structure shall be constructed in accordance with the Dana Point Form #100 due to being located within a High Fire Hazard Severity Zone.
- Not used.
- Not used.
- Pool, spa, outside fireplace, trellis and all walls/fences will be constructed under a separate permit.
- Ground-mounted mechanical equipment (including pool/spa equipment enclosures, Bar-B-Q, AC unit) shall not exceed 4 feet in height and must maintain a 2 foot setback from the property line.
- Barbecue equipment may not exceed four foot in height and shall not use solid fuel.
- Orange County Fire Authority require a maintained walkable surface around the front, side and rear yards for emergency fire access.
- Plans for fixed fire protection equipment to be approved by the local fire protection authority prior to installation.
- Provide Knox box with keys to open gates and switch/button to open vehicle gate if gates/fences are over 4'-0" high.
- Address Numerals shall be located where they are clearly visible from the street on which they are addressed. They shall be of a color contrasting to the background to which they are affixed. Method of attachment shall not include the use of two-sided tape or any material not resistant to weather conditions.
- Address Numerals shall be no less than four inches in height and illuminated externally during the hours of darkness. The numerals and light source shall be contained within a single, weather-resistant fixture. The light source shall be provided with an uninterruptible A.C. power source or controlled only by a photoelectric device. Nothing in this section shall preclude the requirement for circuit protection devices where applicable.
- Outdoor fireplaces or fire pits shall be submitted to OCFPA for review.
- All lights shall be designed and located so that direct light rays shall be confined to the premises.

CALIFORNIA GREEN BUILDING STANDARDS (CGBS) SECTION 4.06.2
 *STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION:
 PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.

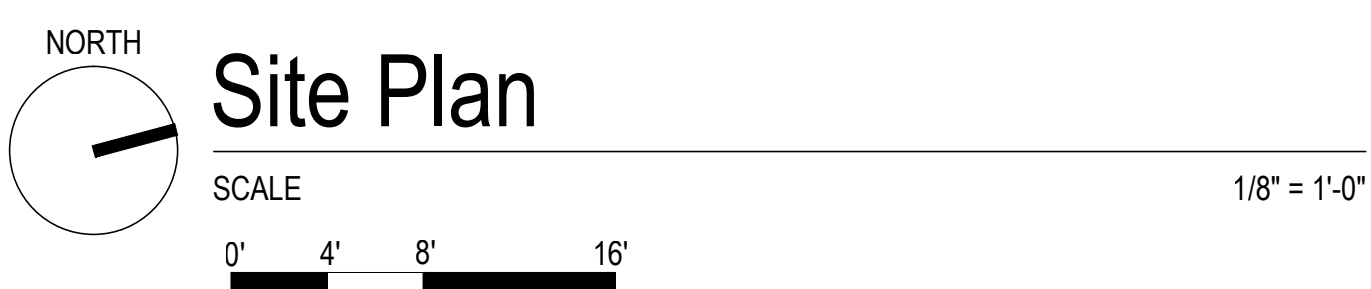
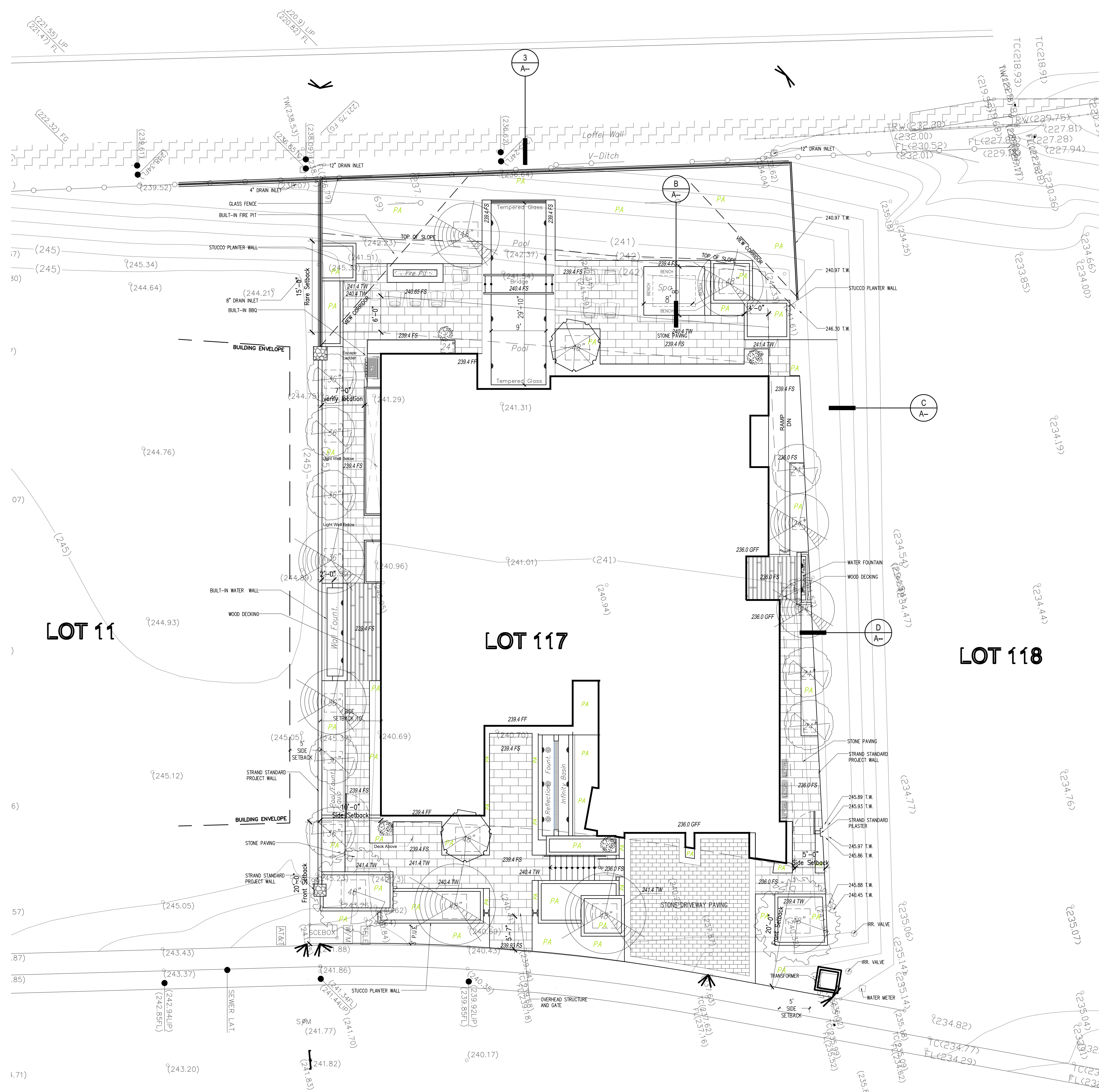
- RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
- WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, MATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
- COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.*

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.



THOMAS GUIDE MAP, 2008 EDITION, PAGE: 971, GRID G-6

PROJECT WITHIN "Special Fire Protection Area (SFFPA)"
EZ-1



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Tel: (949) 280-4091
Contact: David Wojtaszek : David19@icloud.com

33 SHORELINE

Lot 117, Dana Point, California

03-03-2021 HOA SUBMITTAL
08-25-2021 HOA SUBMITTAL

TITLE

SITE PLAN

DATE 03-03-2021

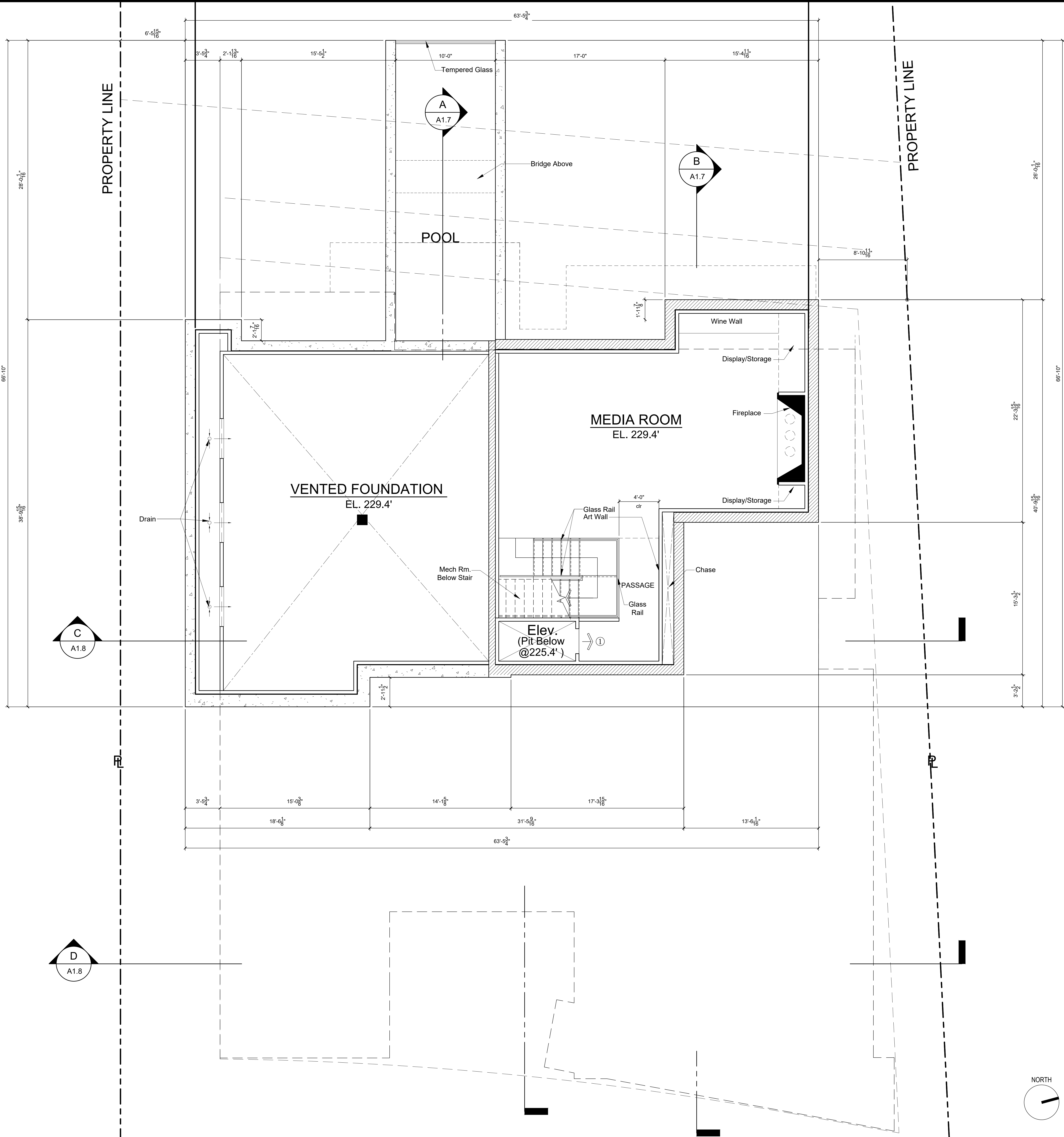
SCALE AS NOTED

PROJECT NO.

APPROVED

SHEET

A1.0



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33 SHORELINE

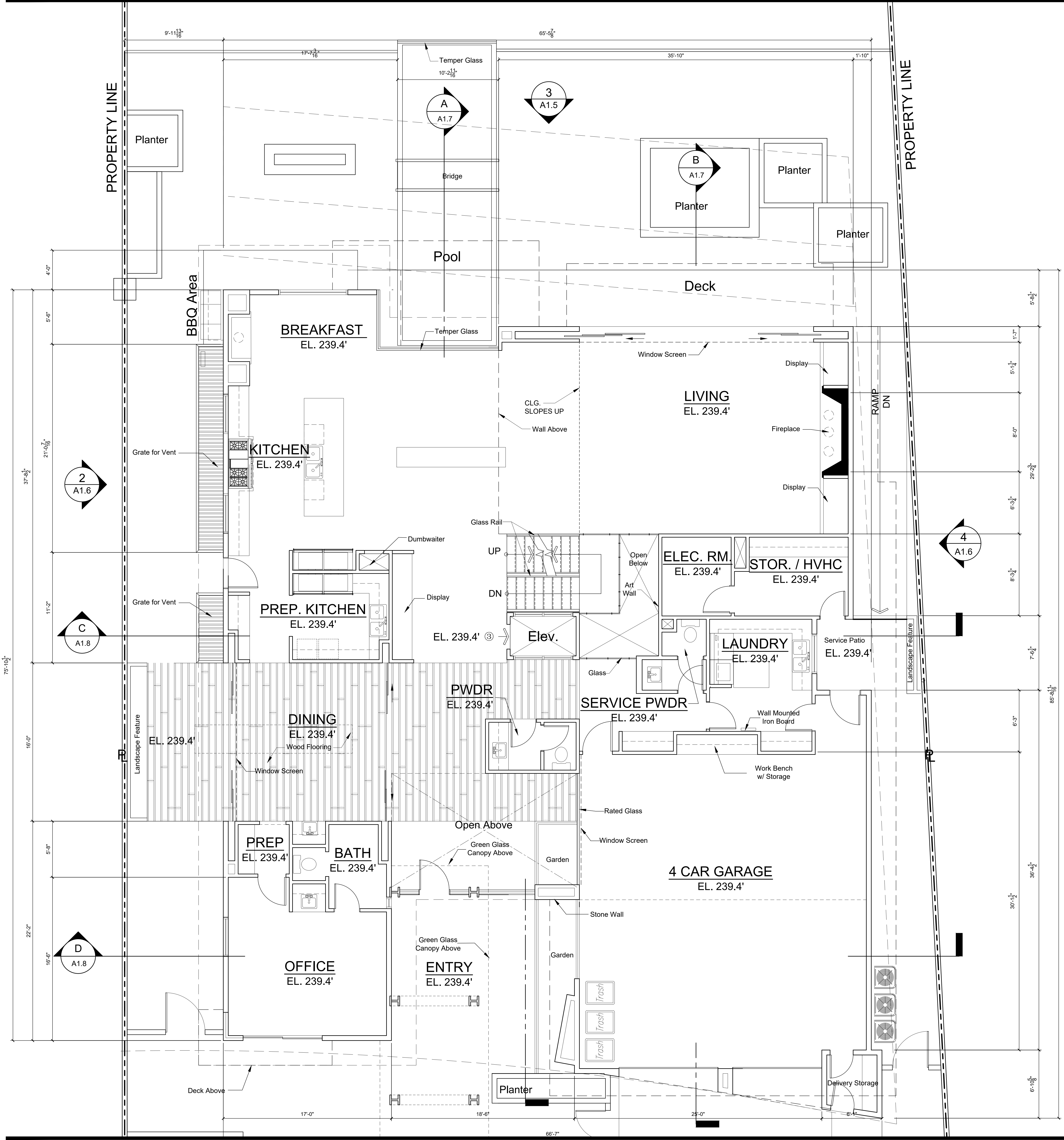
Lot 117, Dana Point, California

03-03-2021	△	HOA SUBMITTAL
08-25-2021	△	HOA SUBMITTAL
	△	
	△	
	△	
	△	

TITLE	PROPOSED SUB BASEMENT PLAN
DATE	03-03-2021
SCALE	AS NOTED
PROJECT NO.	
APPROVED	
SHEET	

Proposed Sub Basement Plan
 SCALE 1/4" = 1'-0"
 0 2' 4' 8'

A1.1



Proposed Basement Entry Level Plan
 SCALE 1/4" = 1'-0"
 NORTH

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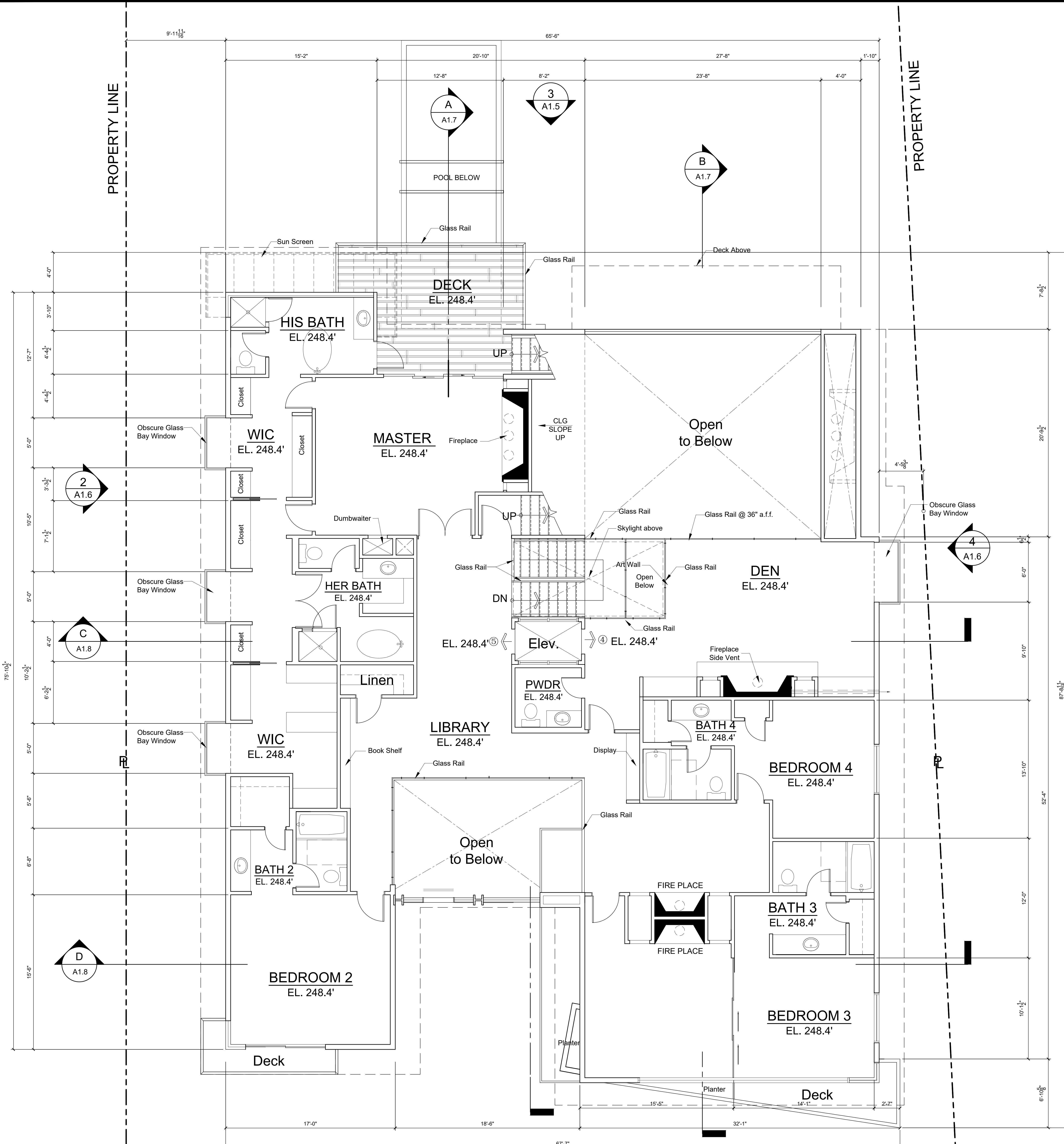
33 SHORELINE
 Lot 117, Dana Point, California

03-03-2021	HOA SUBMITTAL
08-25-2021	HOA SUBMITTAL

TITLE
PROPOSED BASEMENT ENTRY LEVEL PLAN

DATE 03-03-2021
 SCALE AS NOTED
 PROJECT NO.
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A1.2



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33 SHORELINE

Lot 117, Dana Point, California

03-03-2021	HOA SUBMITTAL
08-25-2021	HOA SUBMITTAL

TITLE	PROPOSED STREET LEVEL PLAN
DATE	03-03-2021
SCALE	AS NOTED
PROJECT NO.	
APPROVED	
SHEET	

A1.3

33 SHORELINE

Lot 117, Dana Point, California

03-03-2021 HOA SUBMITTAL

08-25-2021 HOA SUBMITTAL

TITLE

PROPOSED ROOF PLAN

DATE 03-03-2021

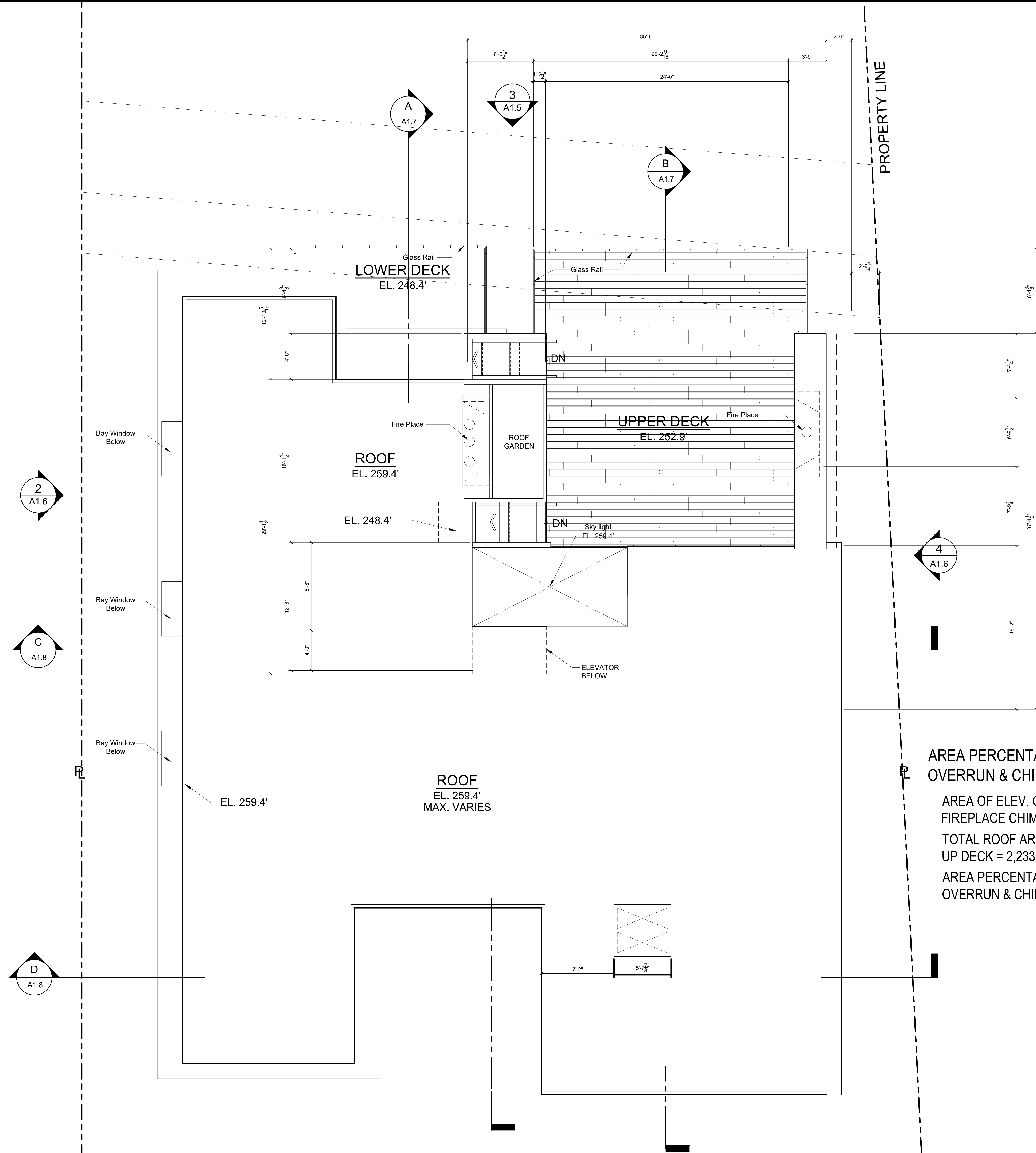
SCALE AS NOTED

PROJECT NO.

APPROVED

SHEET

A1.4



AREA PERCENTAGE CALCULATION OF OVERRUN & CHIMNEY:

AREA OF ELEV. OVERRUN &
FIREPLACE CHIMNEY = 102 SF

TOTAL ROOF AREA (LOWER & UPPER ROOF +
UP DECK = 2,233 + 1,049 + 1,202 SF) = 4,484 S.F.

AREA PERCENTAGE CALCULATION OF
OVERRUN & CHIMNEY = 102 / 4,484 S.F. X 100 = 2.27%

NORTH

Proposed Roof Plan

SCALE 1/4" = 1'-0"

33 SHORELINE

Lot 117, Dana Point, California

03-03-2021	HOA SUBMITTAL
08-25-2021	HOA SUBMITTAL

TITLE

ELEVATIONS

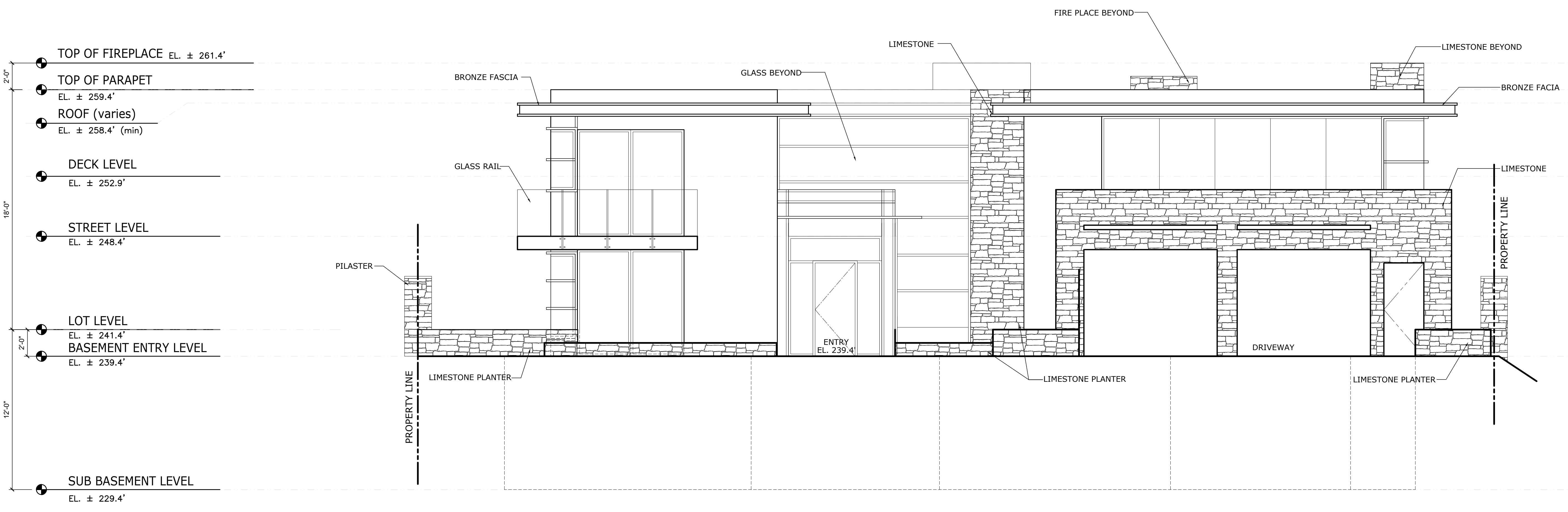
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SCALE AS NOTED

PROJECT NO.

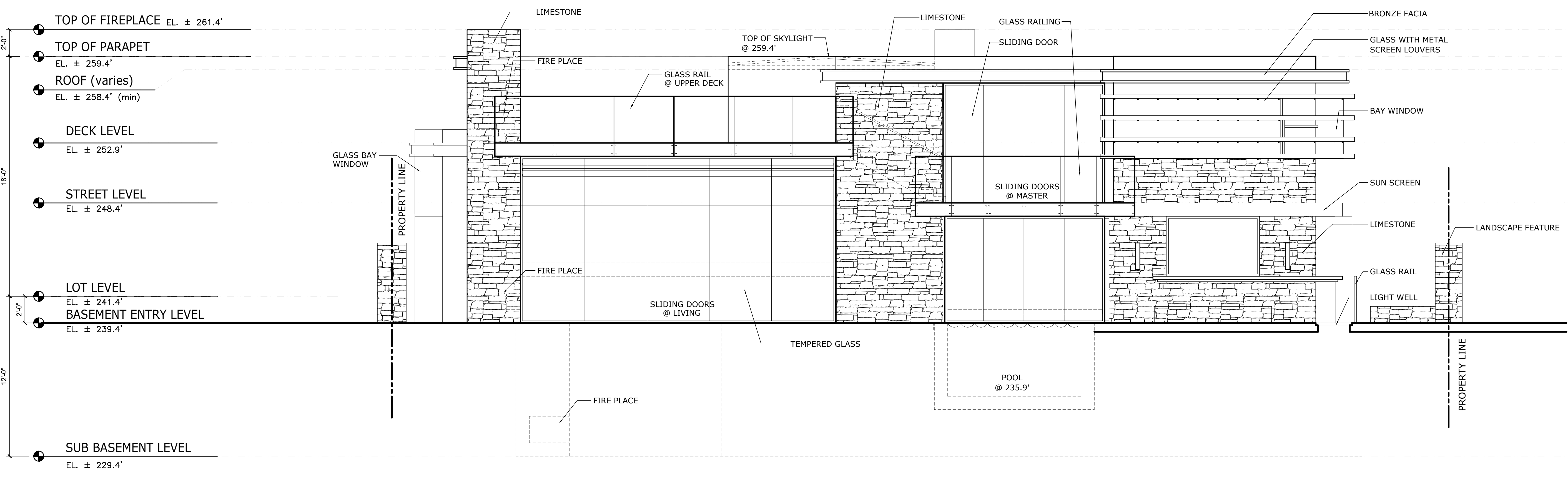
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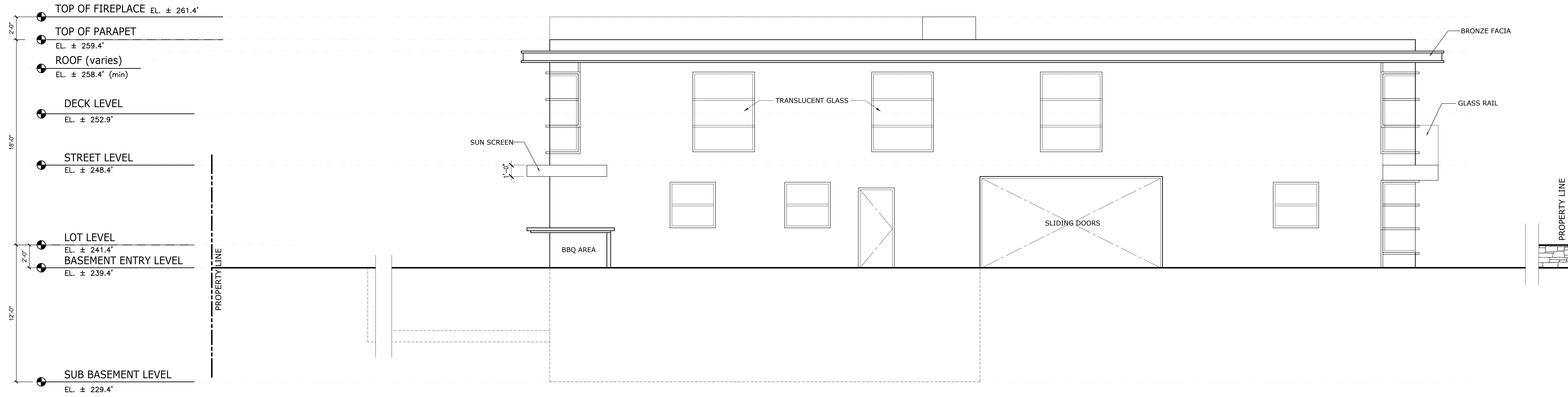
BUILDING FRONT ELEVATION 1

SCALE 1/4" = 1'-0"

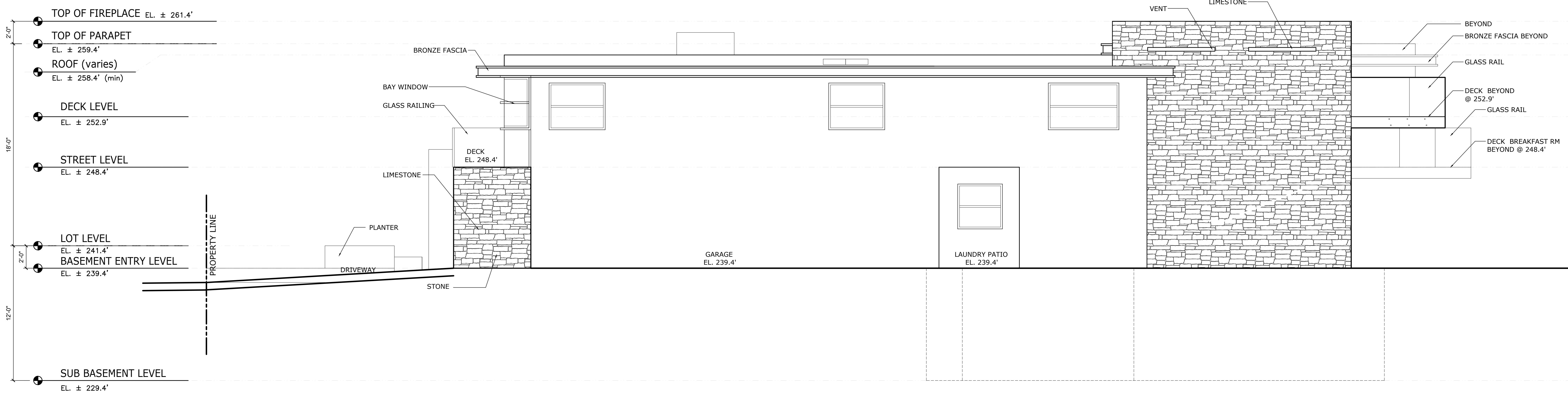


BUILDING REAR ELEVATION 3

SCALE 1/4" = 1'-0"



BUILDING SIDE ELEVATION 2
SCALE 1/4" = 1'-0"



BUILDING SIDE ELEVATION 4
SCALE 1/4" = 1'-0"

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33 SHORELINE
Lot 117, Dana Point, California

03-03-2021	▲	HOA SUBMITTAL
08-25-2021	▲	HOA SUBMITTAL
	▲	
	▲	
	▲	
	▲	

TITLE	ELEVATIONS
DATE	03-03-2021
SCALE	AS NOTED
PROJECT NO.	
APPROVED	
SHEET	

A1.6

33 SHORELINE

Lot 117, Dana Point, California

03-03-2021	HOA SUBMITTAL
08-25-2021	HOA SUBMITTAL

TITLE

SECTIONS

DATE 03-03-2021

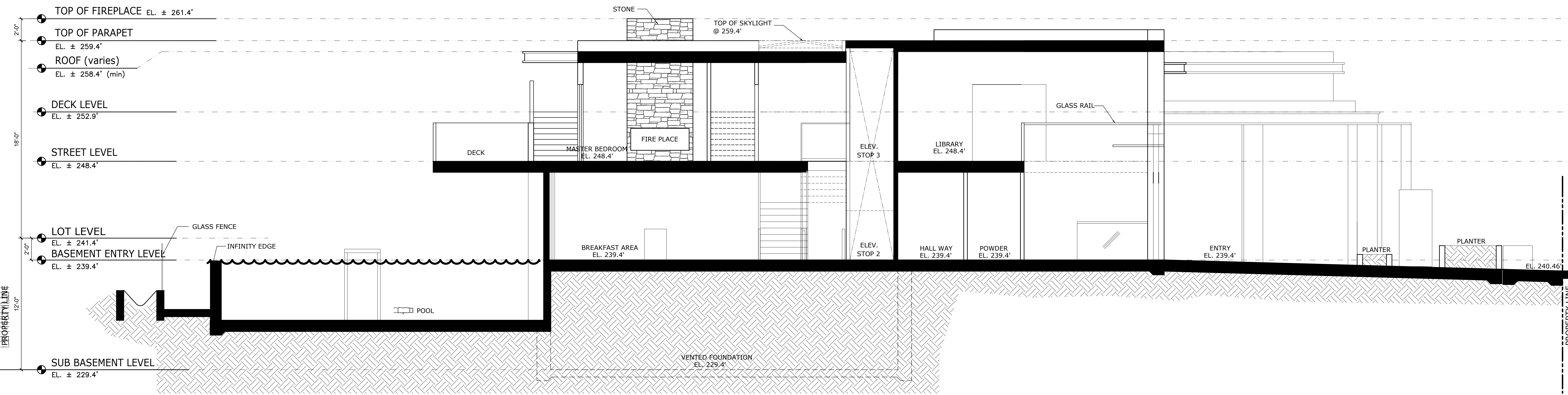
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PROJECT NO.

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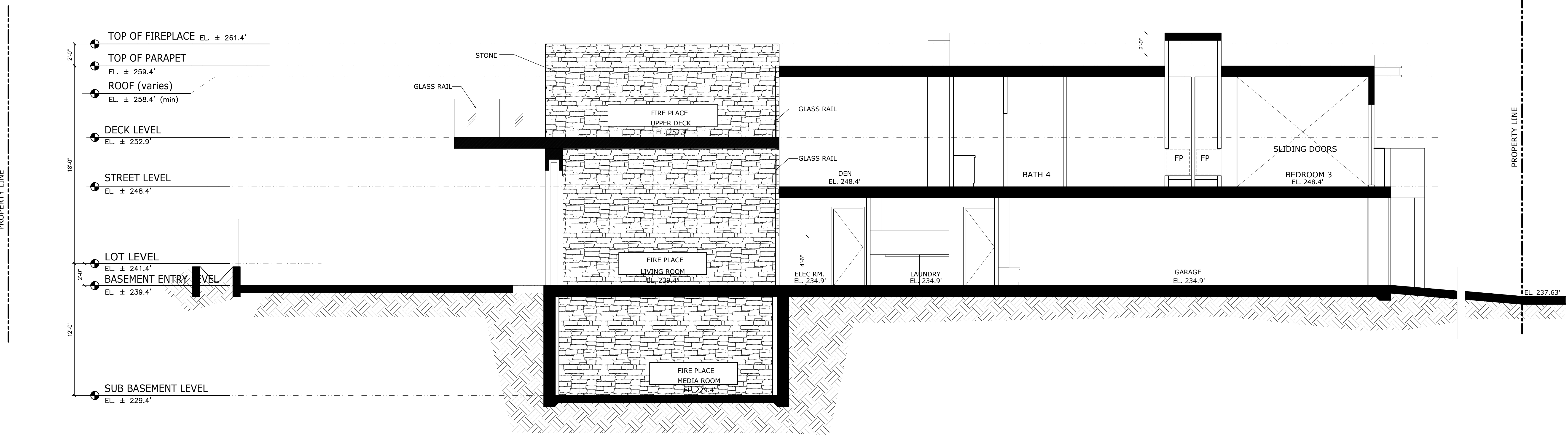
SHEET

A1.7



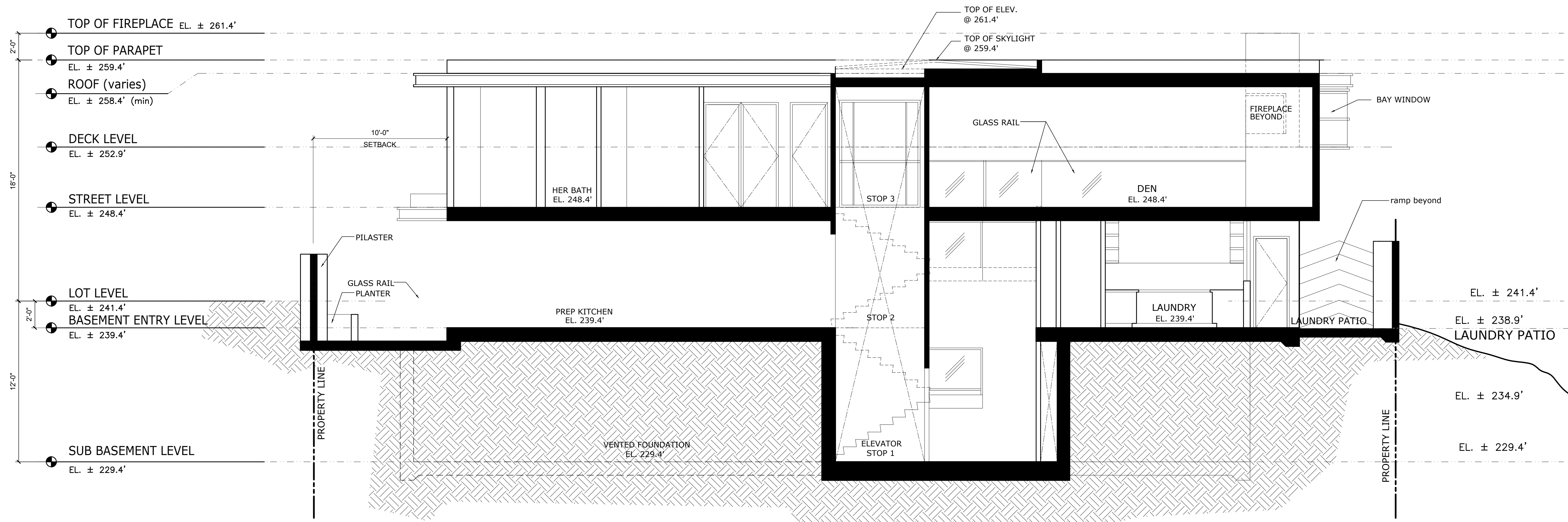
BUILDING LONGITUDINAL SECTION 'A'

SCALE 1/4" = 1'-0"



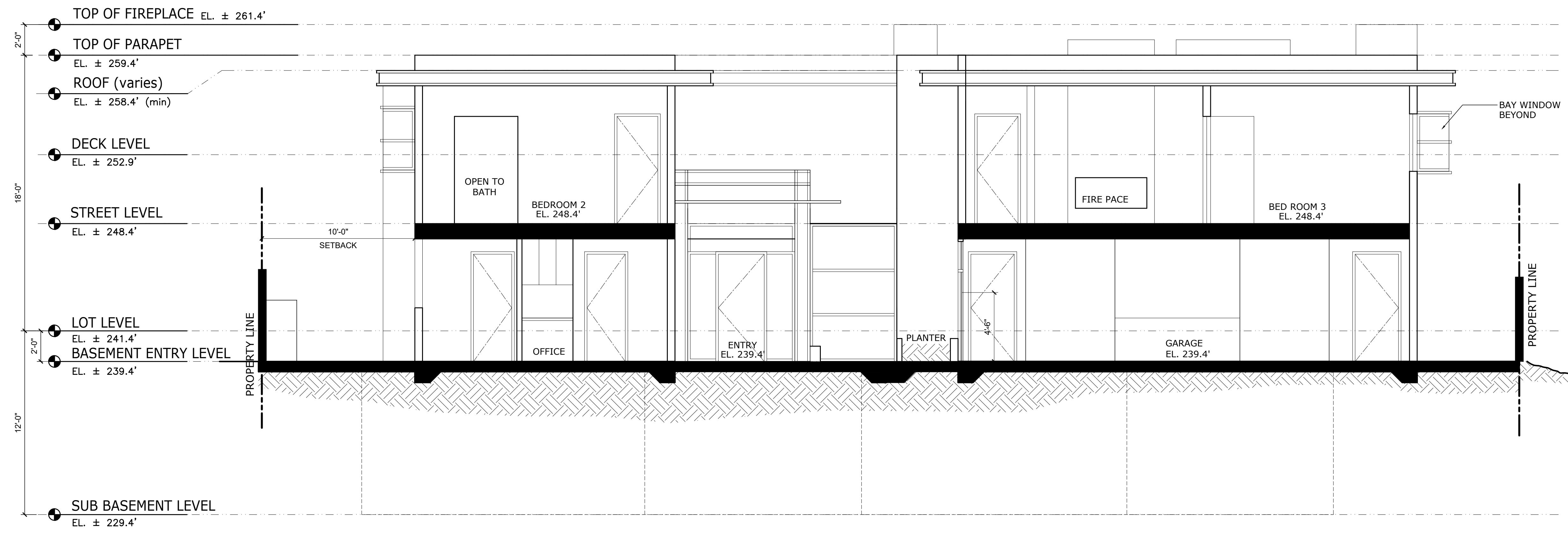
BUILDING LONGITUDINAL SECTION 'B'

SCALE 1/4" = 1'-0"



BUILDING CROSS SECTION 'C'

SCALE 1/4" = 1'-0"



BUILDING CROSS SECTION 'D'

SCALE 1/4" = 1'-0"

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33 SHORELINE

Lot 117, Dana Point, California

03-03-2021 HOA SUBMITTAL

08-25-2021 HOA SUBMITTAL

TITLE

FRONT ELEVATION

DATE 03-03-2021

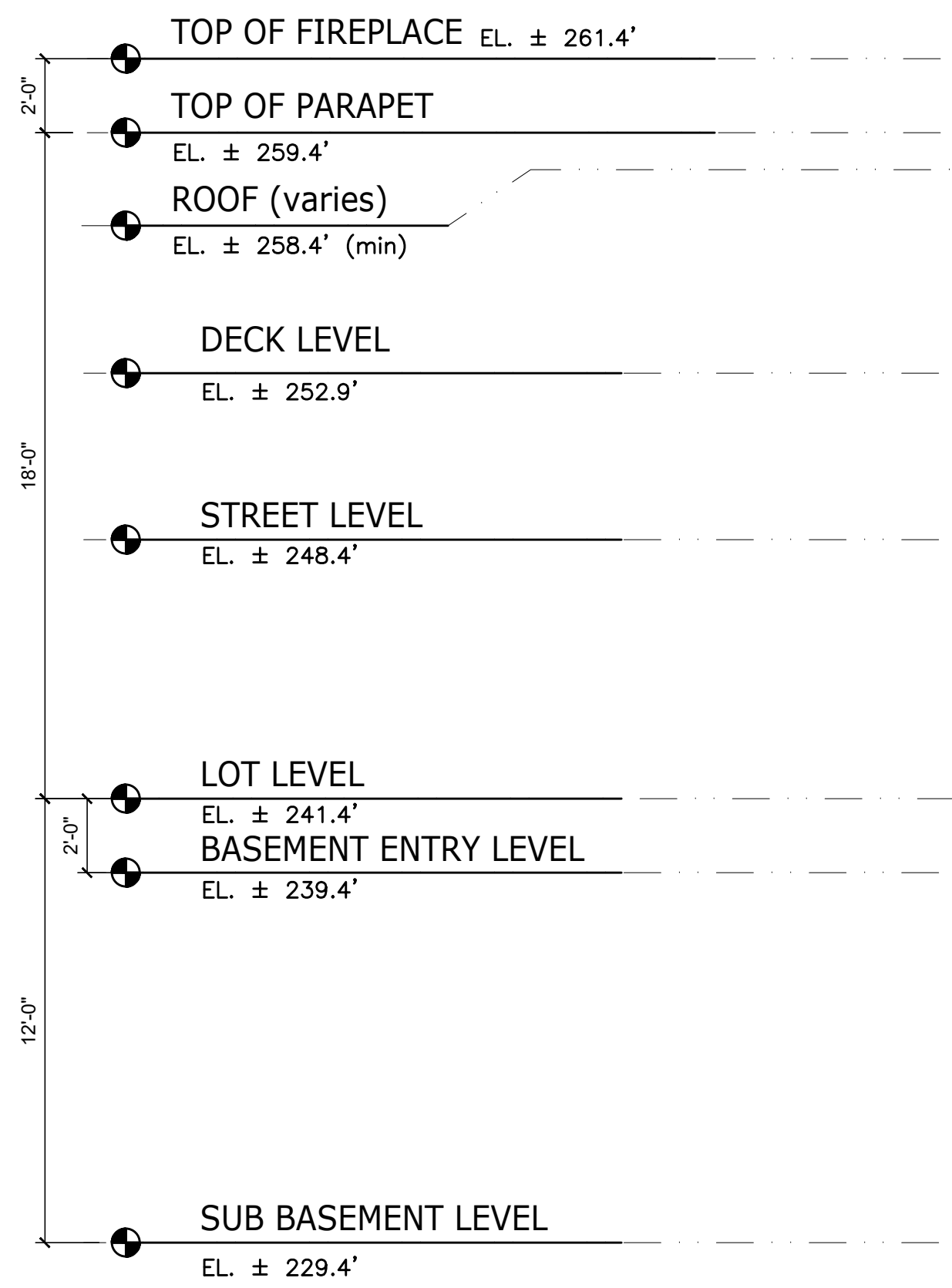
SCALE AS NOTED

PROJECT NO.

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A1.9



BUILDING FRONT ELEVATION 1
SCALE 1/4" = 1'-0"

33 SHORELINE

Lot 117, Dana Point, California

03-03-2021	△	HOA SUBMITTAL
08-25-2021	△	HOA SUBMITTAL

TITLE

REAR
ELEVATION

DATE 03-03-2021

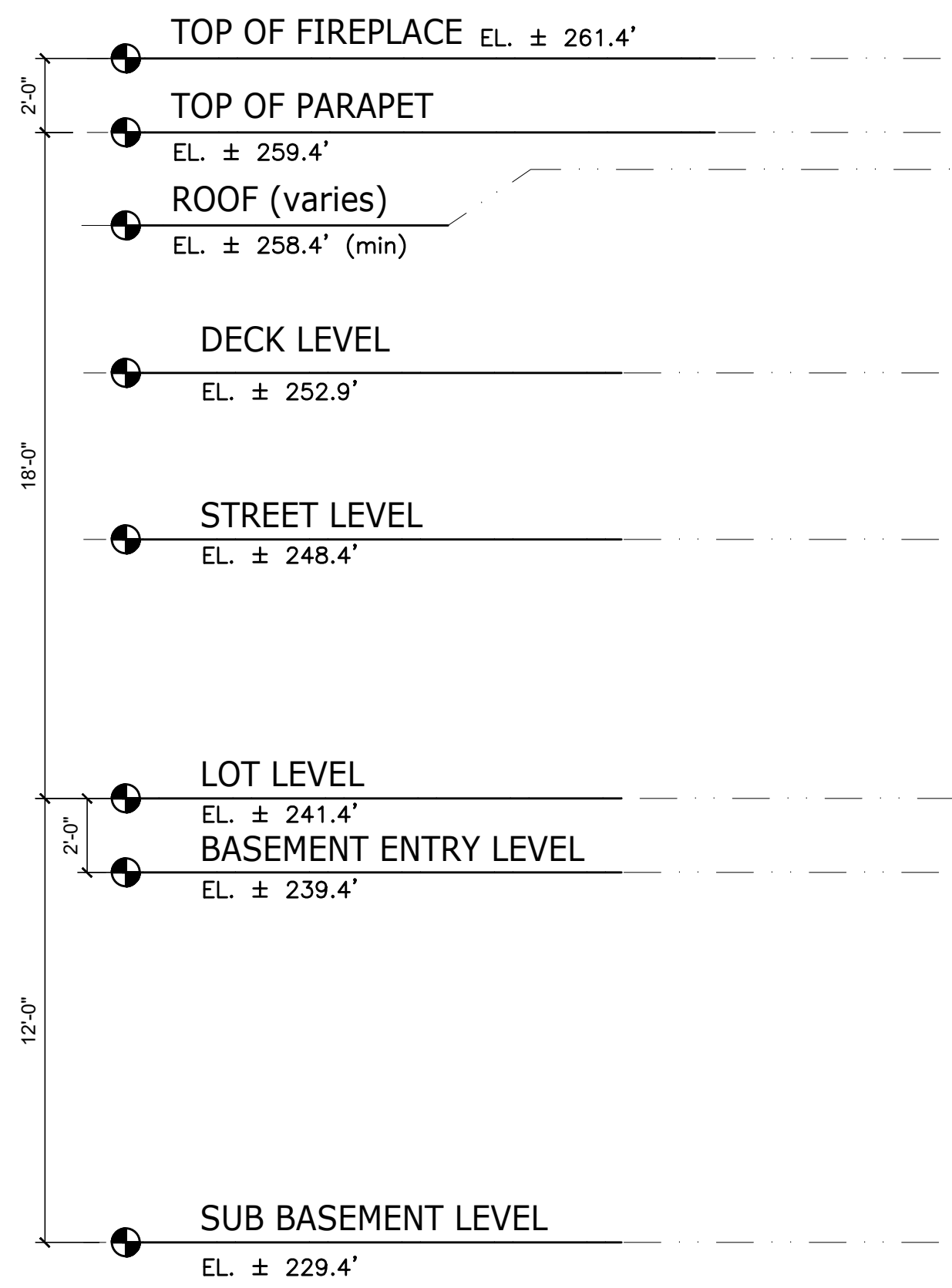
SCALE AS NOTED

PROJECT NO.

APPROVED

SHEET

A1.10



BUILDING REAR ELEVATION 3

SCALE 1/4" = 1'-0"