

Site Plan

SCALE: 1/8" = 1'-0" 1

APPENDIX II-A-2 VERY-HIGH FIRE HAZARD SEVERITY ZONE
SECTION 25
VERY HIGH FIRE HAZARD SEVERITY ZONES IS ANY GEOGRAPHIC AREA DESIGNATED PER GOVERNMENT CODE SECTION 51708 WHICH CONTAINS THE TYPE AND CONDITION OF VEGETATION, TOPOGRAPHY, WEATHER AND STRUCTURE DENSITY WHICH POTENTIALLY INCREASES THE POSSIBILITY OF WILDLAND CONFLAGRATION FIRES.
SECTION 25.2
A SPARK ARRESTER IS A DEVICE CONSTRUCTED OF NONFLAMMABLE MATERIAL SPECIFICALLY FOR THE PURPOSE OF REMOVING AND RETAINING CARBON AND OTHER FLAMMABLE PARTICLES OVER 0.0025 OF AN INCH (0.0635MM) IN SIZE FROM THE EXHAUST FLOW OF AN INTERNAL COMBUSTION ENGINE THAT USES HYDROCARBON FUELS OR WHICH IS QUALIFIED AND RATED BY THE UNITED STATES FOREST SERVICE.
SECTION 6 - BUILDING CONSTRUCTION FEATURES
SECTION 6.2 - EXTERIOR WALLS
EXTERIOR WALLS, INCLUDING ENCLOSED ACCESSORY STRUCTURES, SHALL BE OF NON-COMBUSTIBLE MATERIALS OR 1-HOUR FIRE RESISTIVE CONSTRUCTION FOR THE EXTERIOR PORTION. NO OPENINGS SHALL BE PERMITTED.
EXCEPTION:
1 3/8" HIGH (34 MM) SOLID CORE DOORS, METAL DOORS, AND MULTI-GLAZED WINDOWS AND DOORS WITH A MINIMUM OF ONE TEMPERED PANE, OR WITH A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES ARE PERMITTED.

SECTION 6.3 - ATTIC AND FOUNDATION VENTILATION OPENINGS
ATTIC OR FOUNDATION VENTILATION OPENINGS IN VERTICAL WALLS AND ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQUARE INCHES (10.9 M²) PER OPENING AND SHALL BE COVERED WITH METAL LOUVERS AND 1/4" INCH (6.25 MM) MESH CORROSION RESISTANT METAL SCREEN. VENTILATION OPENINGS AND ACCESS DOORS SHALL NOT BE PERMITTED ON THE EXPOSED SIDE OF THE STRUCTURE.
NOTE:
PLANS FOR AN AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE SUBMITTED TO THE ORANGE COUNTY FIRE AUTHORITY AT A LATER DATE PRIOR TO INSTALLATION UNDER A SEPARATE PLAN CHECK NUMBER. THE SYSTEM SHALL BE OPERATIONAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY FOR ALL ON-SITE STRUCTURES.
THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE CHAPTER 7A / RESIDENTIAL CODE 327 DUE TO BEING LOCATED WITHIN A VERY-HIGH FIRE HAZARD SEVERITY ZONE.

1. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION, INCLUDING TOP OF WALL AND FINISH GRADE/SURFACE INFORMATION.
2. PLANTING AREAS MUST BE A MINIMUM OF ONE FOOT LARGER THAN THE PROPOSED BOX SIZE. FOOTINGS AT TREE LOCATIONS MUST BE BOARD-FORMED AND L-SHAPED WALL FOOTINGS FOR THE PROPERTY LINE AND ANY RETAINING WALLS TO ENSURE THAT TREES AND PLANTS WILL FIT.
3. ALL GATES, WALLS, FENCES, AND PLASTERS OUTSIDE OF THE BUILDING ENVELOPE ARE RESTRICTED TO A MAXIMUM OF 6'-0" ABOVE EXISTING GRADE.
4. CONTRACTOR MAY NOT PLACE FILL SOIL OR EXCAVATE AT OR NEAR THE PROPERTY LINE.
5. ALL NEW PROPERTY LINE WALLS AND PLASTERS SHALL BE CENTERED ON THE PROPERTY LINES.
6. PLANTERS PROPOSED NEXT TO THE PROPERTY LINE MUST MAINTAIN A MINIMUM OF 4'-0" CLEAR.
7. ONCE APPROVED, THESE DRAWINGS CONSTITUTE THE BASIS AGAINST WHICH ALL INSPECTIONS OF IMPROVEMENTS ON THE LOT WILL BE MEASURED BY THE ACC. ANY CHANGES TO THE SPECIFICATIONS WITHIN THESE DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE ACC PRIOR TO ANY FORM OF WORK OR CONSTRUCTION.
8. WALL FOOTINGS AT TREE LOCATIONS MUST BE BOARD FORMED TO ELIMINATE BOIL OVER, AND ALL EXTRUSION CONCRETE MUST BE REMOVED FROM THE SITE.
9. BOTH SIDES OF THE PROPERTY LINE WALLS, FENCES, AND PLASTERS MUST BE COMPLETELY FINISHED AS REQUIRED BY THE DESIGN GUIDELINES.
10. PROPERTY LINE WALLS MUST BE A MINIMUM OF 5'-0" AND A MAXIMUM OF 6'-0" ABOVE EXISTING GRADE, LESS THE EROSION CONTROL BERM, MAXIMUM HEIGHT FOR PLASTERS IS 6'-8" ABOVE GRADE.
11. BOX SIZES OF TREES ARE SHOWN ON ALL SITE PLANS TO PREVENT CONCRETE FOOTINGS OR PIPING (DRAINAGE, UTILITY, IRRIGATION, OR WATER FEATURES) FROM IMPEDING THE INSTALLATION OR GROWTH OF THE SPECIFIED TREES. ALL CONTRACTORS ARE REQUIRED TO RESPECT THE PROPOSED LOCATION OF ALL PLANT MATERIAL.
12. THE GRADE ADJACENT TO THE SIDE AND REAR PROPERTY LINES MUST REMAIN AT EXISTING GRADE FOR 4'-0" FEET CLEAR.
13. A SEPARATE PERMIT IS REQUIRED FOR RETAINING WALLS, FENCES, SWIMMING POOLS, AND SPAS.

14. STREET TREES SHALL BE PROTECTED IN PLACE AND MAINTAINED IN A HEALTHY CONDITION DURING ALL PHASES OF CONSTRUCTION. ALL STREET TREES TO BE RELOCATED MUST BE RELOCATED AT THE START OF CONSTRUCTION.
15. FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE/ADDITION SHALL BE SLOPED A MINIMUM 2% AWAY FROM THE BUILDING FROM DRAINAGE PURPOSES.
16. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED, OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
FF: FINISH FLOOR
FS: FINISH SURFACE
FG: FINISH GRADE
TF: TOP OF WALL
TP: TOP OF PLASTER
TC: TOP OF CURB
TF: TOP OF FENCE
PA: PLANTING AREA
WL: WATER LEVEL

1. BUILDING SETBACK - SHOWN DASHED
2. BACK OF EXISTING CONCRETE CURB
3. FIRE HYDRANT - REFER TO CIVIL
4. EXISTING MANHOLE COVER - REFER TO CIVIL
5. EXISTING DOMESTIC WATER METER - REFER TO CIVIL
6. GAS METER LOCATION - REFER TO LANDSCAPE
7. MAILBOX LOCATED 18" BEHIND BACK OF ROLLED CURB - REFER TO LANDSCAPE
8. TRASH ENCLOSURE LOCATION SHOWN DASHED - REFER TO BASEMENT PLAN
9. CONDENSER LOCATION - REFER TO LANDSCAPE
10. ELECTRICAL PANEL/METER SHOWN DASHED - REFER TO BASEMENT PLAN
11. SITE WALL - REFER TO LANDSCAPE/CIVIL
12. PLASTER AT SITE WALL - REFER TO LANDSCAPE/CIVIL
13. POOL/SPA - REFER TO LANDSCAPE
14. POOL/SPA EQUIPMENT - REFER TO BASEMENT PLAN/LANDSCAPE
15. BUILT-IN BARBEQUE - REFER TO LANDSCAPE
16. LIGHTWELL - REFER TO BASEMENT PLAN
17. EXISTING CONTOURS - SHOWN DOTTED
18. PROPOSED CONTOURS - SHOWN DASHED
19. HARDSCAPE - REFER TO LANDSCAPE
20. SOFTSCAPE - REFER TO LANDSCAPE
21. PLANTER RETAINING WALLS - REFER TO LANDSCAPE/CIVIL
22. WATER FEATURE - REFER TO LANDSCAPE
23. FROST/FIRE FEATURE - REFER TO LANDSCAPE
24. PROPOSED TREE LOCATION - REFER TO LANDSCAPE
25. POTTED PLANTS - REFER TO LANDSCAPE
26. TURF - REFER TO LANDSCAPE
27. PEDESTRIAN GATE - REFER TO LANDSCAPE
28. OUTDOOR SHOWER - REFER TO LANDSCAPE
29. POOL SAFETY GATE

19. HARDSCAPE - REFER TO LANDSCAPE
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27. PEDESTRIAN GATE - REFER TO LANDSCAPE
28. OUTDOOR SHOWER - REFER TO LANDSCAPE
29. POOL SAFETY GATE

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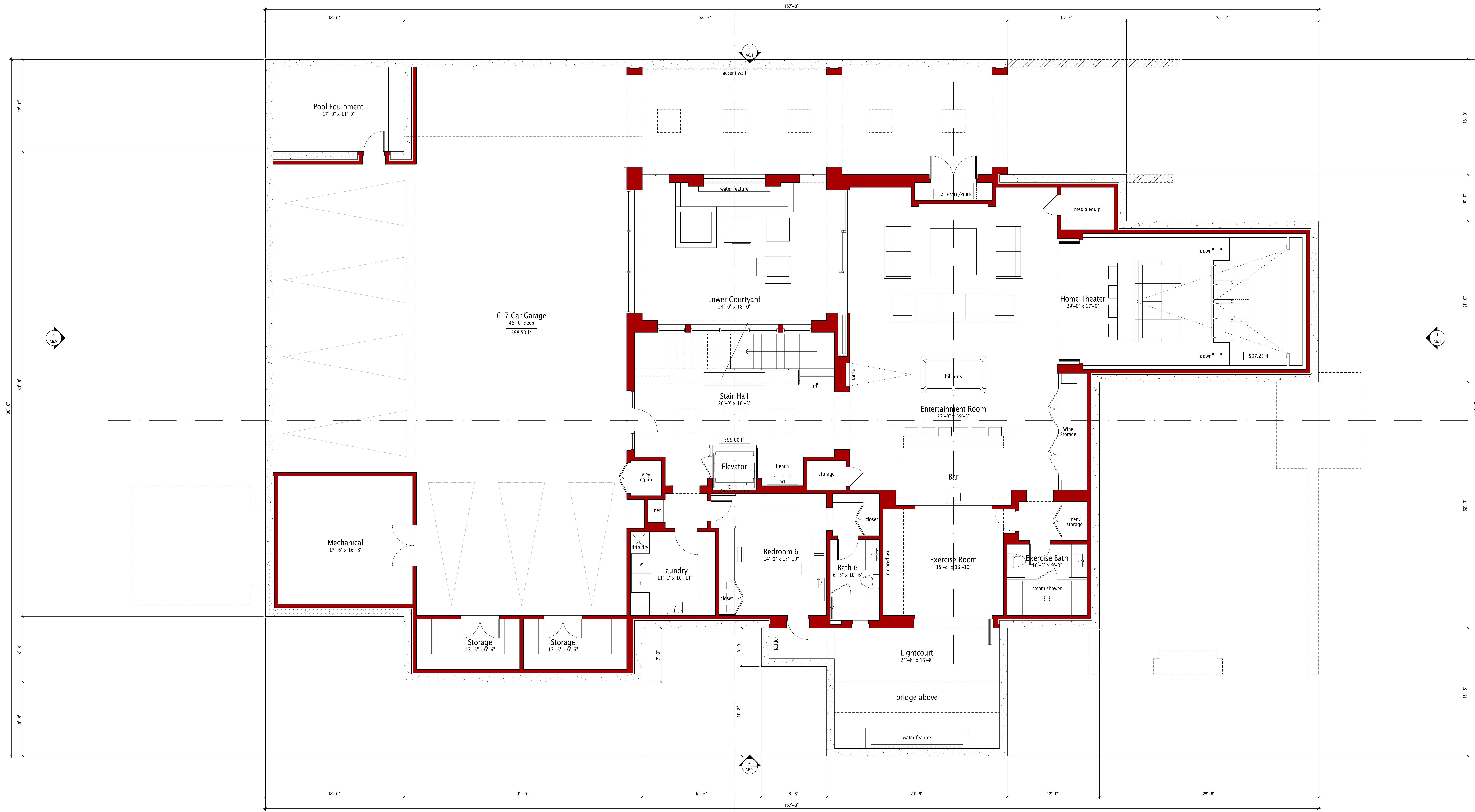
17871 MITCHELL NORTH
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FAX 949.955.1377

Private Residence

Crystal Cove
Tract 16457 Lot 6B

16 Waves End
Newport Coast, CA

Basement Floor Plan

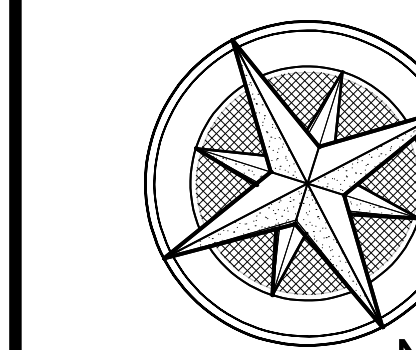


Basement Floor Plan

SCALE: 1/4" = 1'-0"

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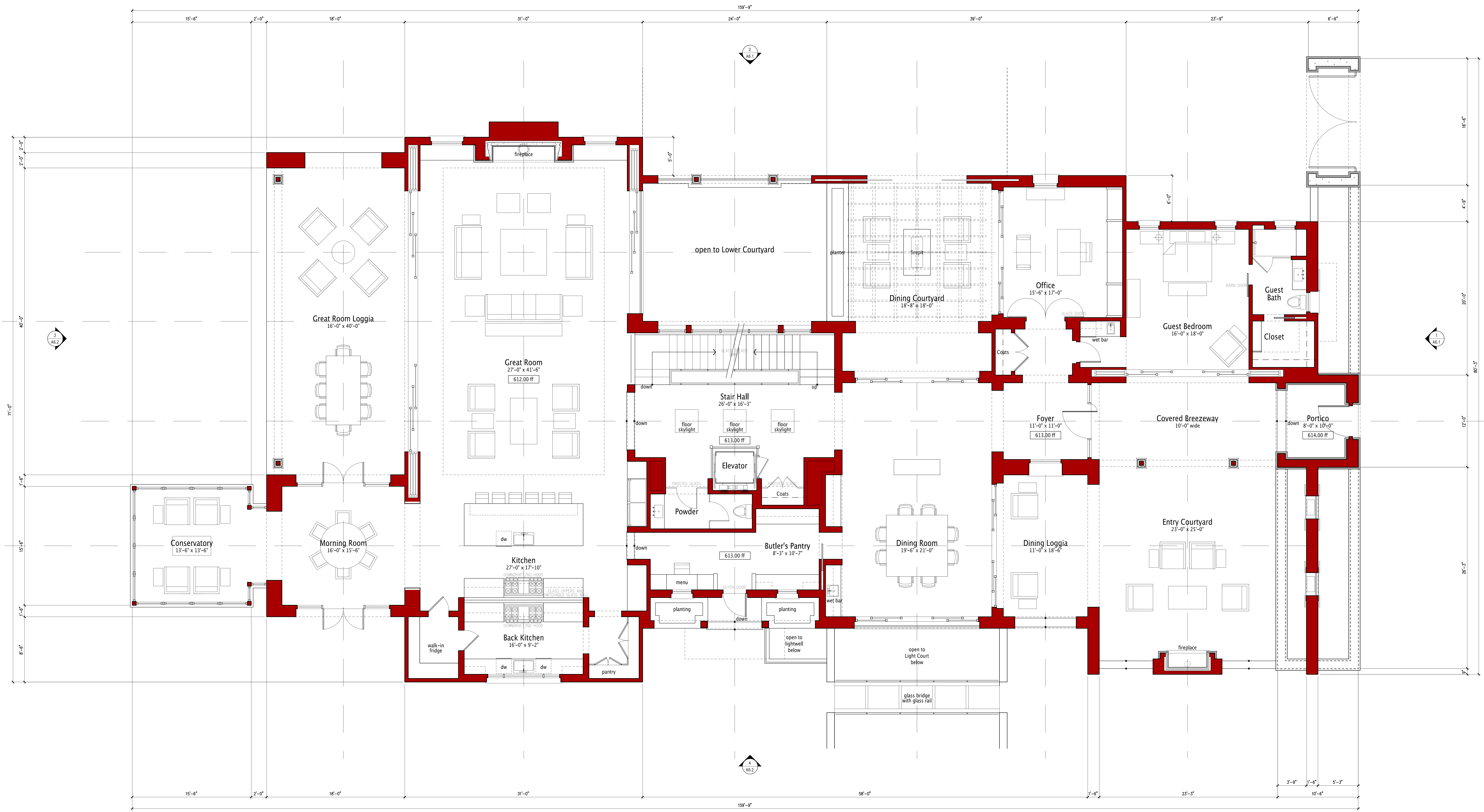
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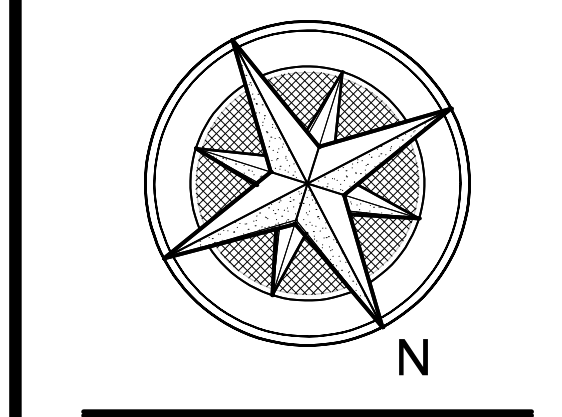
Main Level Floor Plan



Main Level Floor Plan

SCALE: 1/4" = 1'-0" 1

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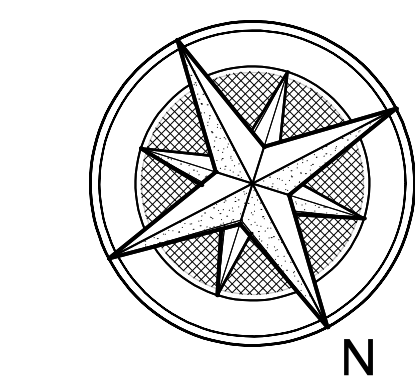
Upper Level Floor Plan



Upper Level Floor Plan

SCALE: 1/4" = 1'-0" 1

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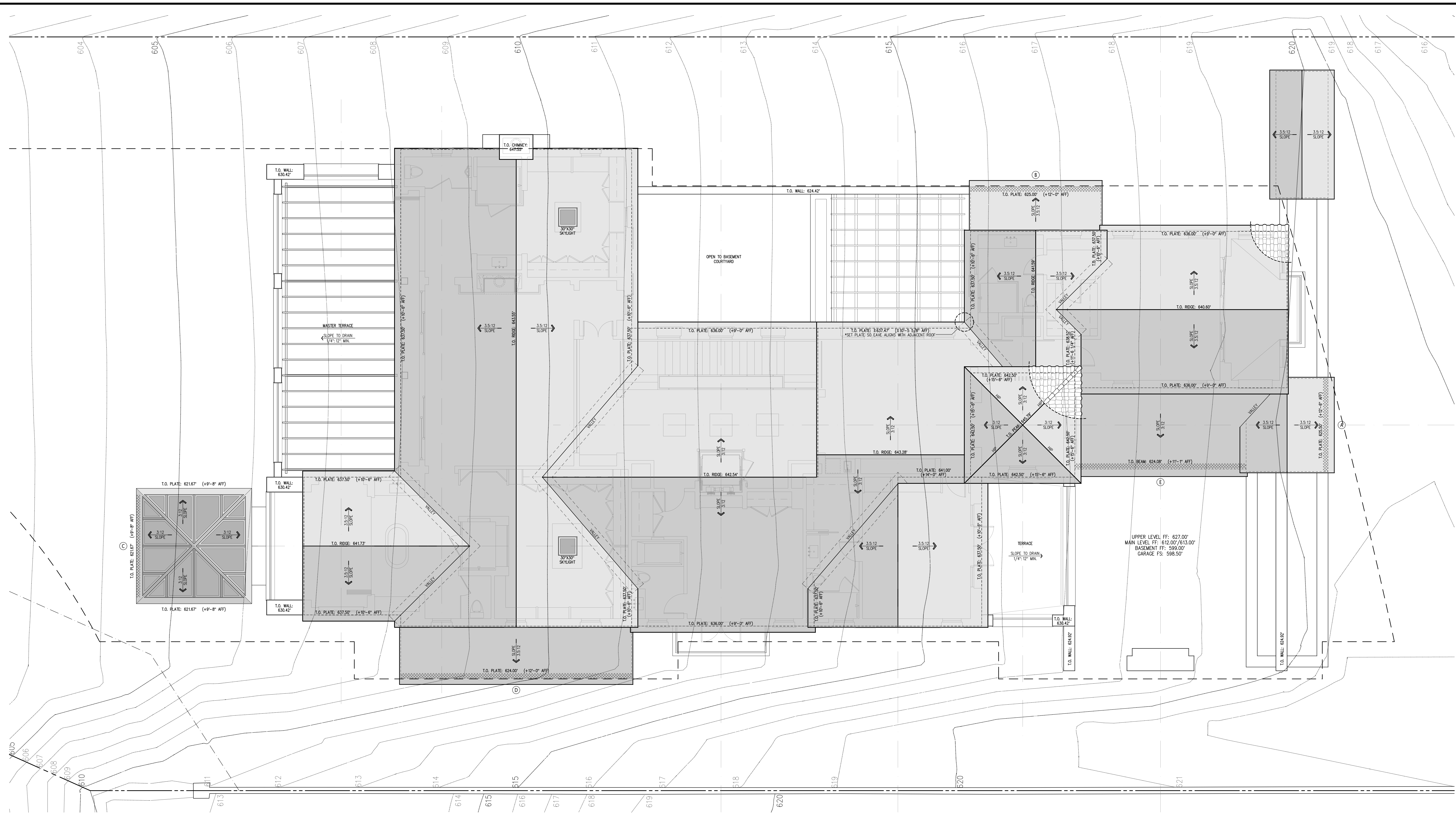
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Roof Plan



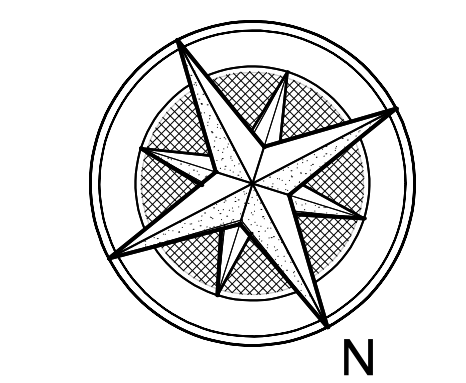
Roof Plan

SCALE: 1/4" = 1'-0" 1

Single-Story Plate Tabulations

A	PLATE LENGTH =	12'-6"	D	PLATE LENGTH =	31'-0"
B	PLATE LENGTH =	17'-6"	E	PLATE LENGTH =	23'-0"
C	PLATE LENGTH =	13'-9"			

NOTE: PLATE AT OR BELOW +14'-0" AFF INDICATED BY DASHED BOX



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TOTAL SINGLE-STORY PLATE PERIMETER: 97'-9"

MINIMUM SINGLE-STORY PLATE PERIMETER AT OR BELOW +14'-0" AFF: 65'-2" (66% OF TOTAL PERIMETER)

TOTAL SINGLE-STORY PLATE PERIMETER AT OR BELOW +14'-0" AFF: 97'-9" (100% OF TOTAL PERIMETER)

A3.1

Plate Height Calculations



Front Elevation

SCALE: 1/4" = 1'-0" 1



Right Elevation

SCALE: 1/4" = 1'-0" 2

- A ROOF - BALZA MISSION TILES WITH ROMAN PANS BY REDLANDS CLAY TILE
COLOR: 602 "SANDSTONE FLUSH", SIZE "CARE GOLD FLUSH"
- B EXTERIOR PLASTER - COLOR: "MADISON" BY HERRON BROCK
- C STONE VENEER - COLOR: "MADISON" BY HERRON BROCK
- D PRECAST STONE - COLOR: "LINEN" BY J GINGER MASONRY
- E EXPOSED WOOD - COLOR: "DEAUVILLE" BY OLYMPIC
- F STEEL DOORS / WINDOWS - COLOR: MATCH "TRUFFLE" BY KOLBE
- G CLAD DOORS / WINDOWS - COLOR: "TRUFFLE" BY KOLBE
- H WOOD ENTRY GATE - COLOR: "NOSTALGIC" BY BOS CHAMOS
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- L GUTTERS / DOWNSPOUTS - SIMULATED AGED COPPER
- M WROUGHT IRON RAILING - OIL-RUBBED FINISH
- N EXTERIOR LIGHT FIXTURES
- P SKYLIGHT

REFER TO COLOR AND MATERIALS SAMPLE BOARD FOR ADDITIONAL INFORMATION

Exterior Elevation Keynotes

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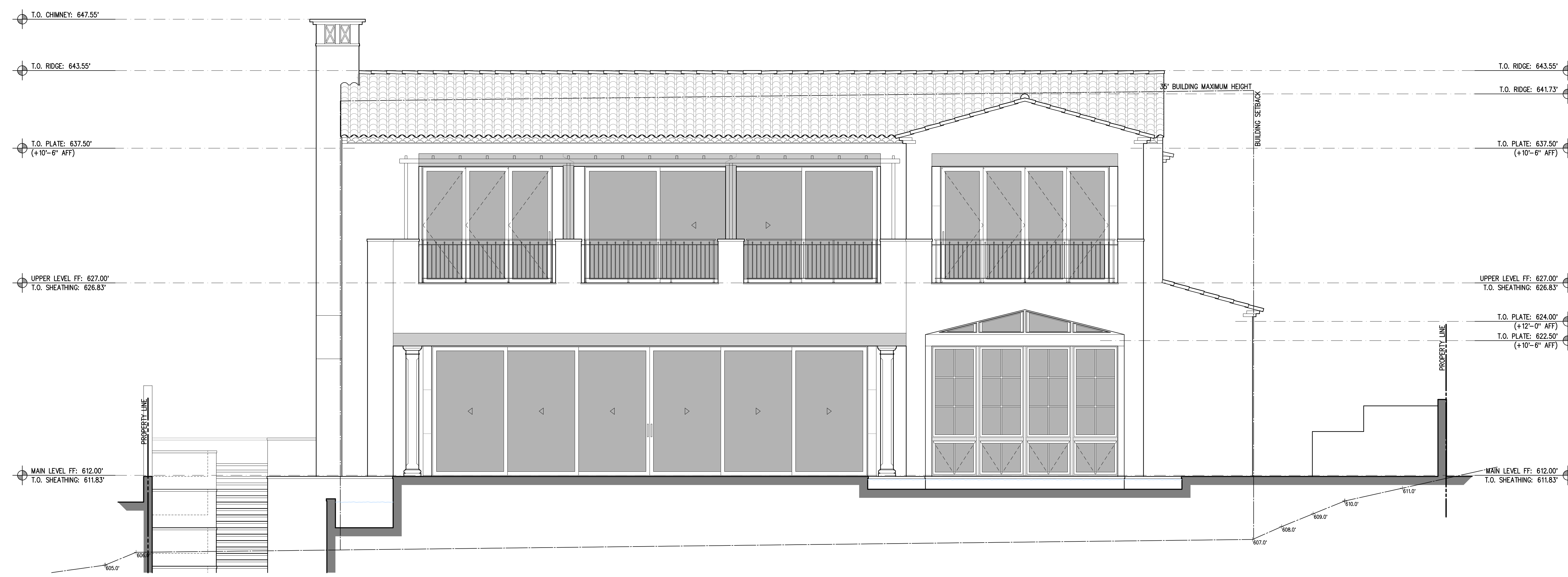
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Crystal Cove Tract 16457 Lot 6B

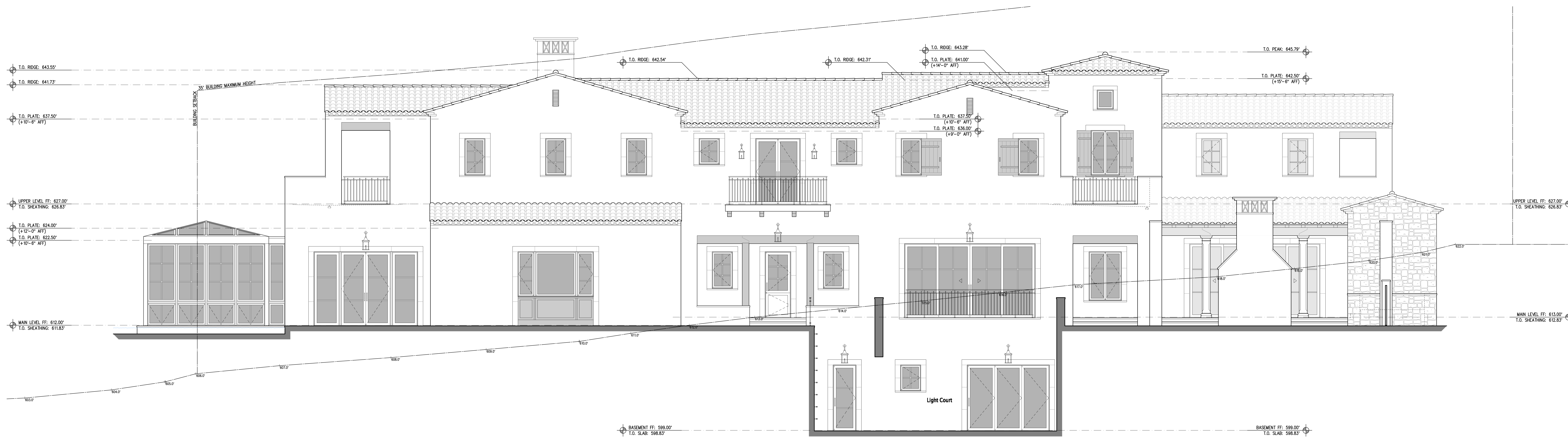
16 Waves End Newport Coast, CA



Rear Elevation

SCALE: 1/4" = 1'-0"

3



Left Elevation

SCALE: 1/4" = 1'-0"

4

- A ROOF - BALA MISSION TILES WITH ROMAN PANS BY REDLANDS CLAY TILE
- B COLOR: 602 "SANDSTONE FLASH", 602 "CARE GOLD FLASH"
- C EXTERIOR PLASTER - COLOR: "MADISON" BY HERBON BROCK
- D STONE VENEER - COLOR: "MADISON" BY HERBON BROCK
- E PRECAST STONE - COLOR: "LINEN" BY J GINGER MASONRY
- F EXPOSED WOOD - COLOR: "DEAUVILLE" BY OLYMPIC
- G STEEL DOORS / WINDOWS - COLOR: MATCH "TRUFFLE" BY KOLBE
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- I WOOD ENTRY GATE - COLOR: "NOSTALGIC" BY BOB CHAMOS
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- M WROUGHT IRON RAILING - OIL-RUBBED FINISH
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Exterior Elevation Keynotes

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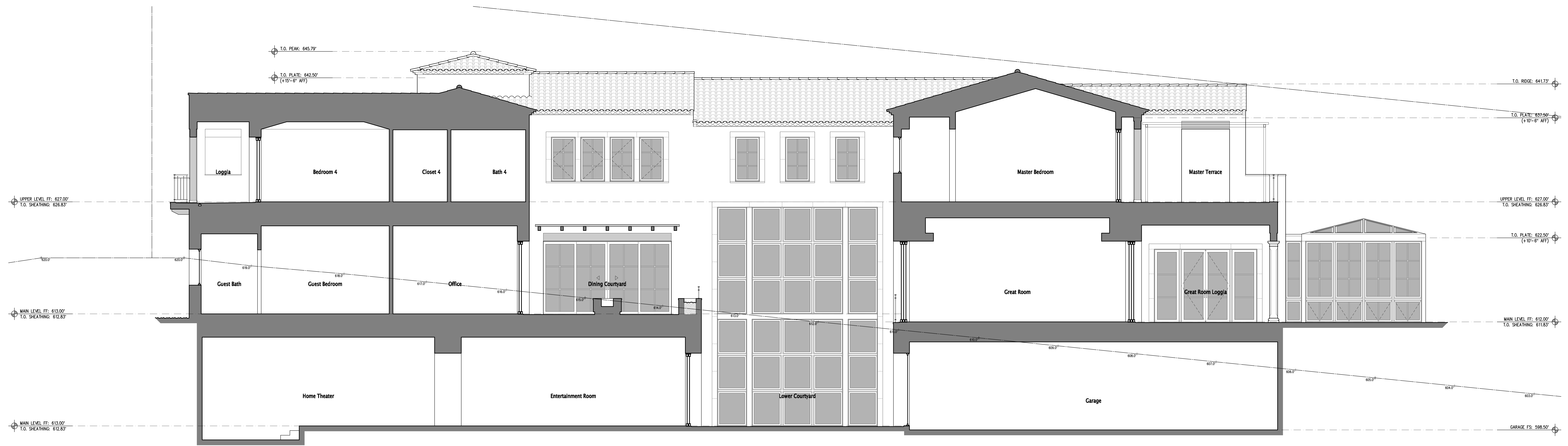
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Front-Facing Entry Courtyard Elevation

SCALE: 1/4" = 1'-0" 5



Right-Facing Lower Courtyard Elevation

SCALE: 1/4" = 1'-0" 6

- A ROOF - BALZA MISSION TILES WITH ROMAN PANS BY REDLANDS CLAY TILE
- B EXTERIOR PLASTER - COLOR: "MADISON" BY HEBRON BRICK
- C STONE VENEER - COLOR: "MADISON" BY HEBRON BRICK
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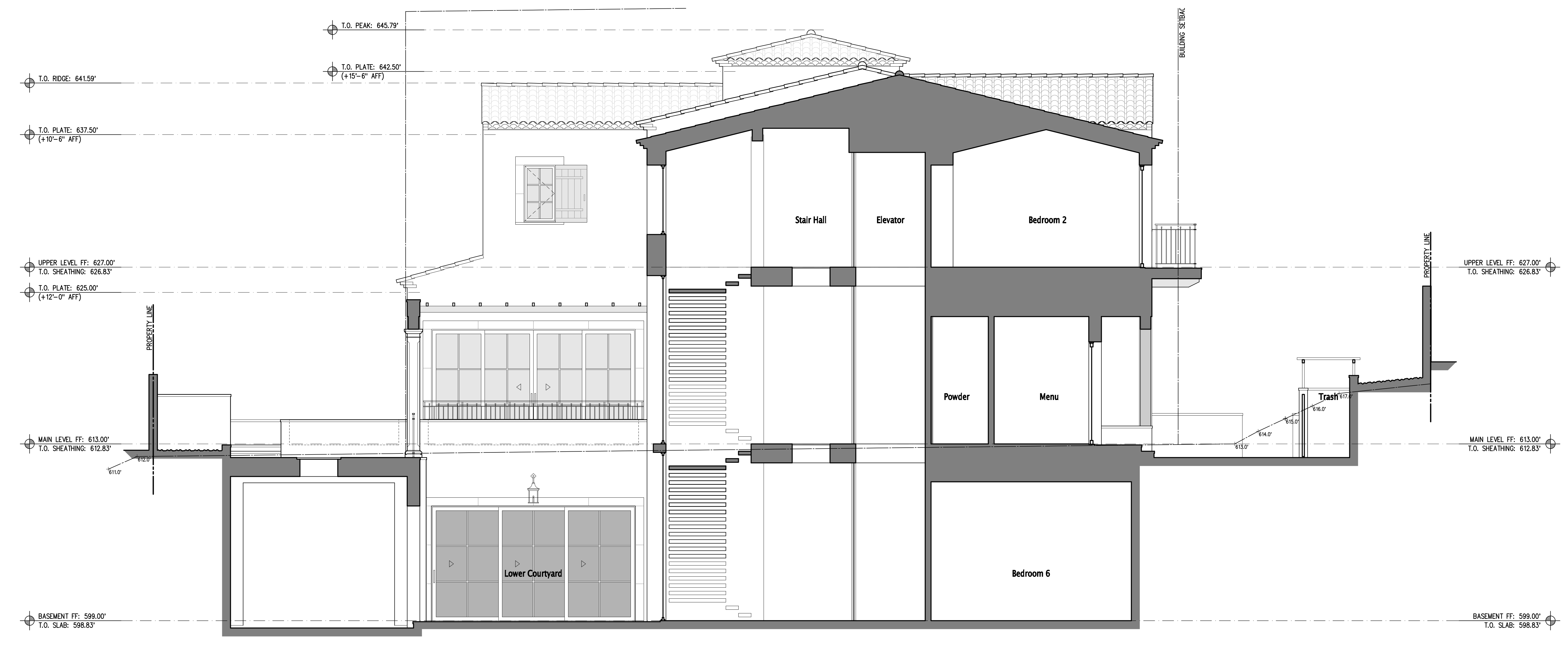
Exterior Elevation Keynotes

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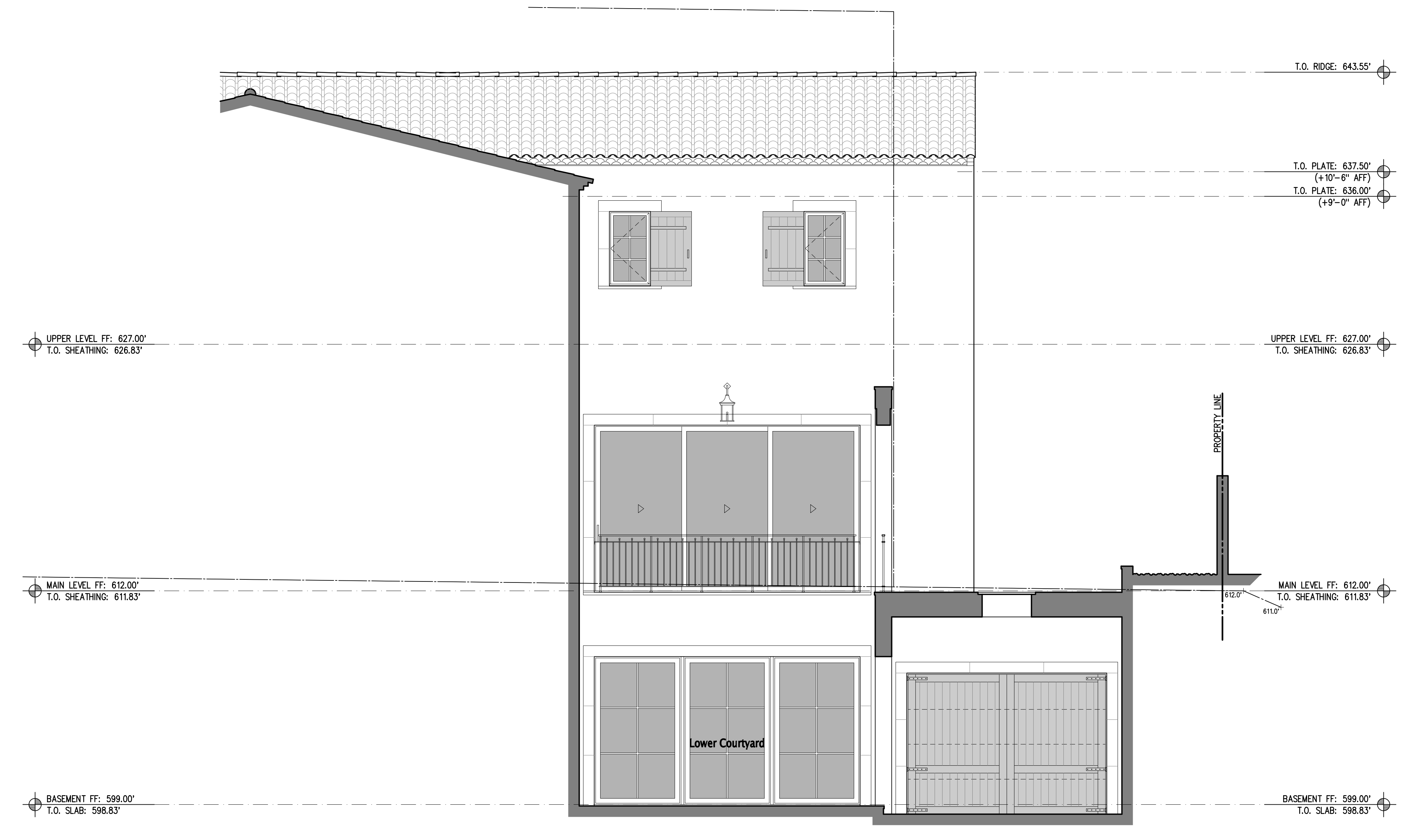
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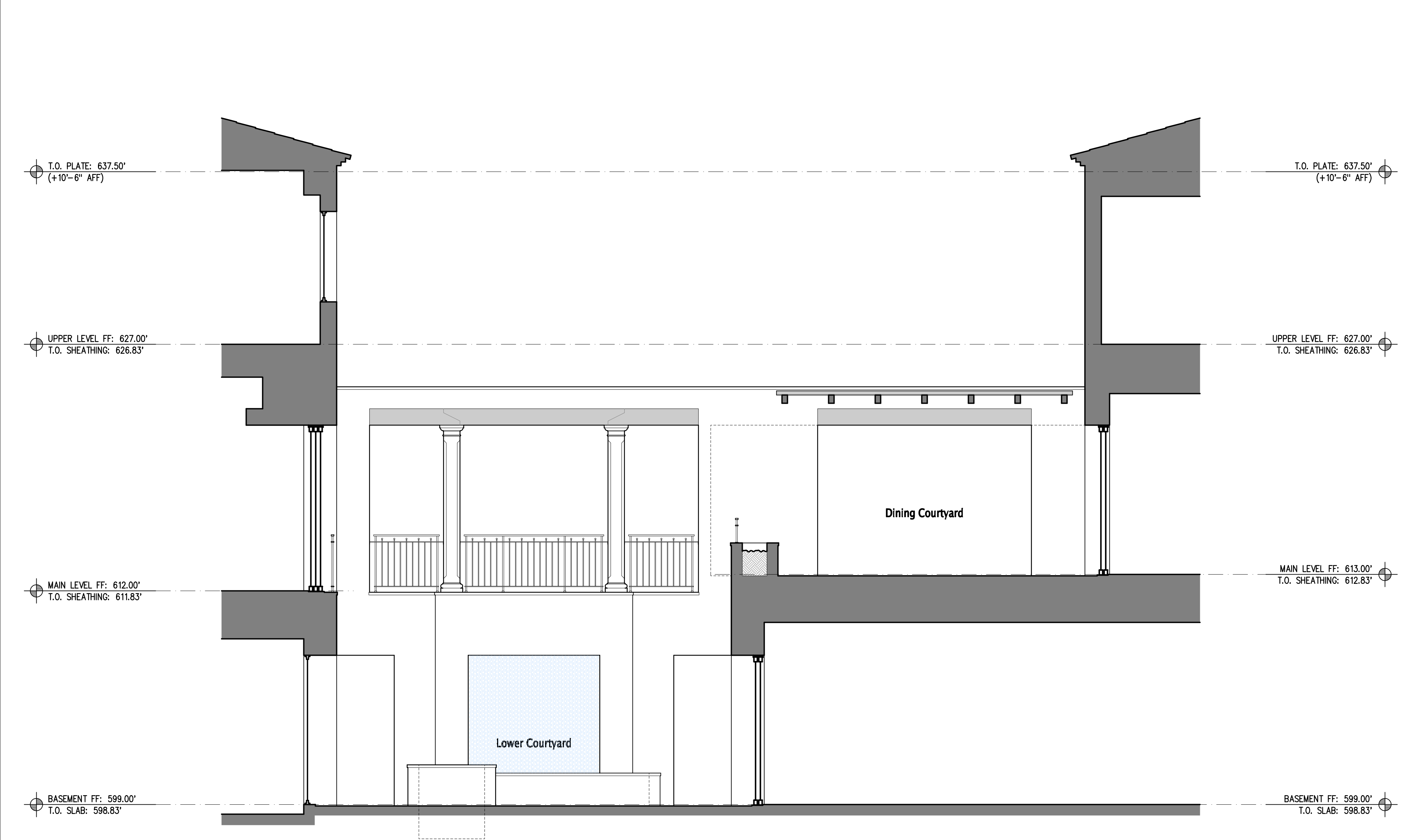
Rear-Facing Lower Courtyard Elevation

SCALE: 1/4" = 1'-0" 7



Front-Facing Lower Courtyard Elevation

SCALE: 1/4" = 1'-0" 9



Left-Facing Lower Courtyard Elevation

SCALE: 1/4" = 1'-0" 8

- A ROOF - BALZA MISSION TILES WITH ROMAN PANS BY REDLANDS CLAY TILE
- B COLOR: 602 "SANDSTONE FLUSH", 402 "CARE GOLD FLUSH"
- C EXTERIOR PLASTER - COLOR: "MADISON" BY HEBRON BRICK
- D STONE VENEER - COLOR: "MADISON" BY HEBRON BRICK
- E PRECAST STONE - COLOR: "LINEN" BY J GINGER MASONRY
- F EXPOSED WOOD - COLOR: "DEVAILLE" BY OLYMPIC
- G STEEL DOORS / WINDOWS - COLOR: MATCH "TRUFFLE" BY KOLBE
- H CLAD DOORS / WINDOWS - COLOR: "TRUFFLE" BY KOLBE
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- P SKYLIGHT

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Exterior Elevation Keynotes

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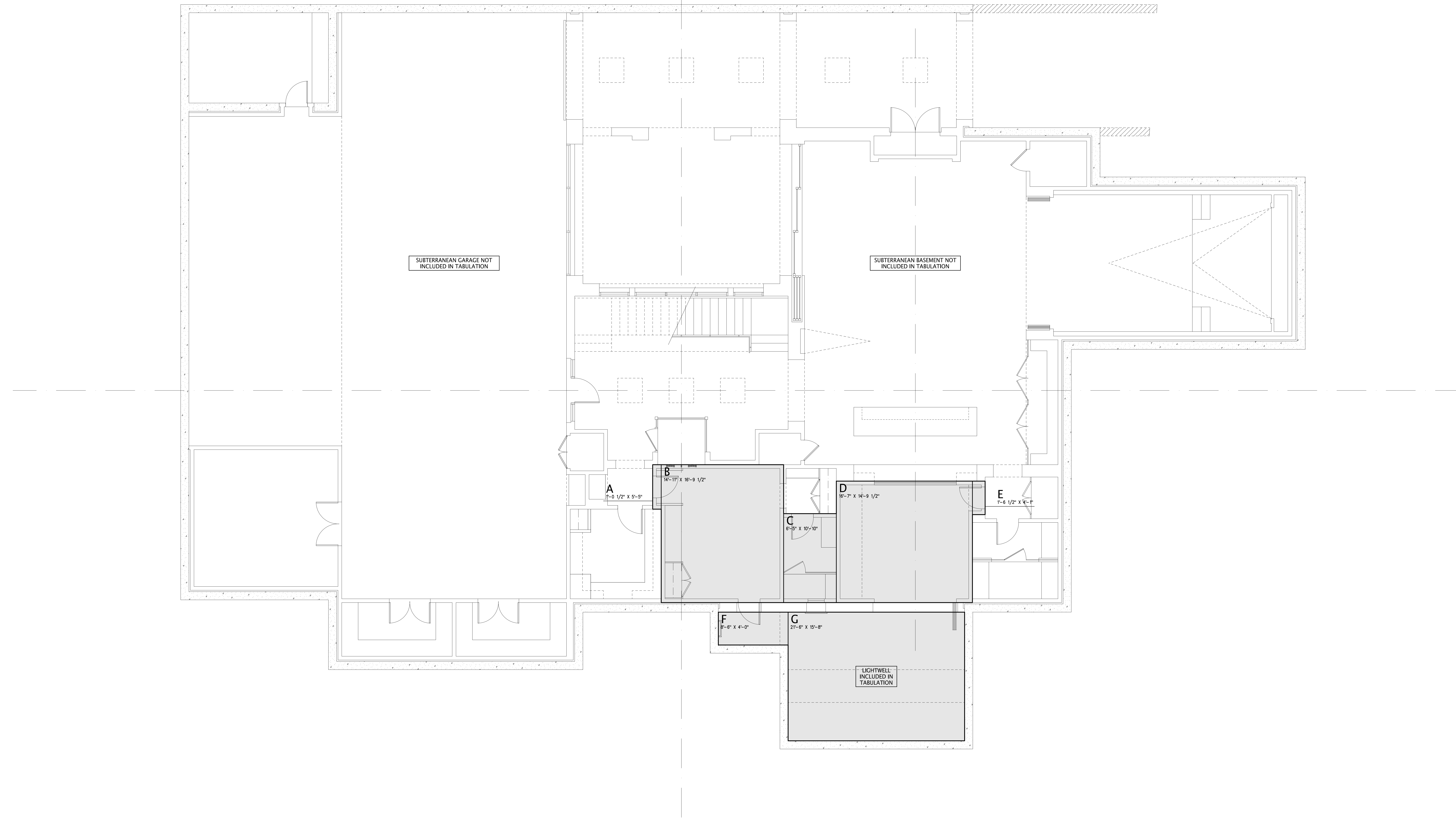
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Private Residence

Crystal Cove Tract 16457 Lot 6B

16 Waves End Newport Coast, CA

Basement Area Tabulations

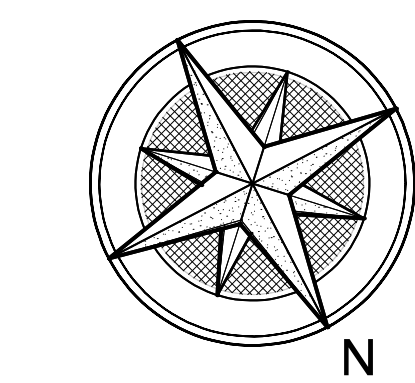


Basement Area Tabulations

SCALE: 1/4" = 1'-0" 1

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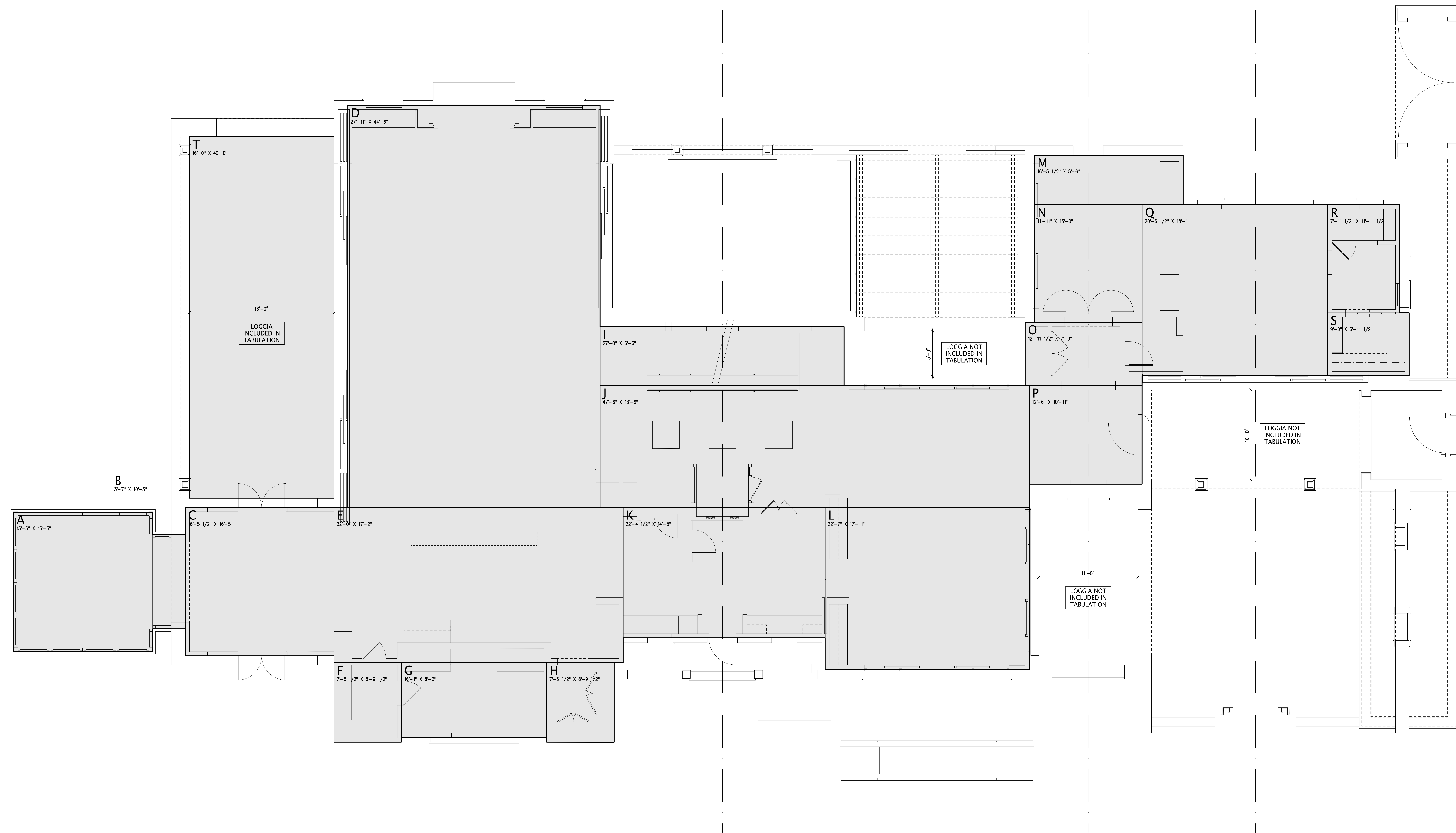
Tabulations	HOA Square Footage	Actual Square Footage
A 5.6 sf	Basement 948.0 sf	Basement
B 250.5 sf	Main Level 5,804.7 sf	Conditioned Habitable 3,710.8 sf
C 69.5 sf	Upper Level 4,303.6 sf	Garage/Mechanical/Storage 3,716.2 sf
D 245.3 sf	Tower 142.0 sf	Uncovered Courtyard 929.0 sf
E 6.3 sf	Total 11,198.3 sf	Main Level
F 34.0 sf	Maximum Allowed 11,200.0 sf	Conditioned Habitable 5,269.3 sf
G 336.8 sf		Covered Loggias 1,664.4 sf
		Uncovered Courtyard 422.8 sf
		Upper Level
		Conditioned Habitable 4,486.0 sf
		Covered Loggias 427.0 sf
		Uncovered Terraces 1,158.7 sf
		Total Conditioned Habitable 13,466.1 sf
		Total Garage/Mechanical/Storage 3,716.2 sf
		Total Covered Exterior 2,091.4 sf
		Total Uncovered Exterior 2,510.5 sf



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Main Level Area Tabulations

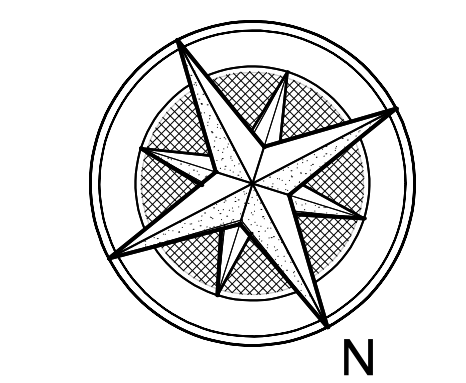
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A	237.7 sf	K	322.6 sf
B	37.3 sf	L	404.6 sf
C	270.2 sf	M	90.5 sf
D	1,242.3 sf	N	154.9 sf
E	549.3 sf	O	90.7 sf
F	65.6 sf	P	136.5 sf
G	132.7 sf	Q	388.6 sf
H	65.6 sf	R	95.2 sf
I	175.5 sf	S	62.6 sf
J	641.3 sf	T	640.0 sf

Basement	948.0 sf
Main Level	5,804.7 sf
Upper Level	4,303.6 sf
Tower	142.0 sf
Total	11,198.3 sf
Maximum Allowed	11,200.0 sf

Basement	
Conditioned Habitable	3,710.8 sf
Garage/Mechanical/Storage	3,716.2 sf
Uncovered Courtyard	929.0 sf
Main Level	
Conditioned Habitable	5,269.3 sf
Covered Loggias	1,664.4 sf
Uncovered Courtyard	422.8 sf
Upper Level	
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Covered Loggias	427.0 sf
Uncovered Terraces	1,158.7 sf
Total Conditioned Habitable	13,466.1 sf
Total Garage/Mechanical/Storage	3,716.2 sf
Total Covered Exterior	2,091.4 sf
Total Uncovered Exterior	2,510.5 sf



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Rev. 1	△
Rev. 2	△
Rev. 3	△
Rev. 4	△
PLOT DATE:	10/4/2021

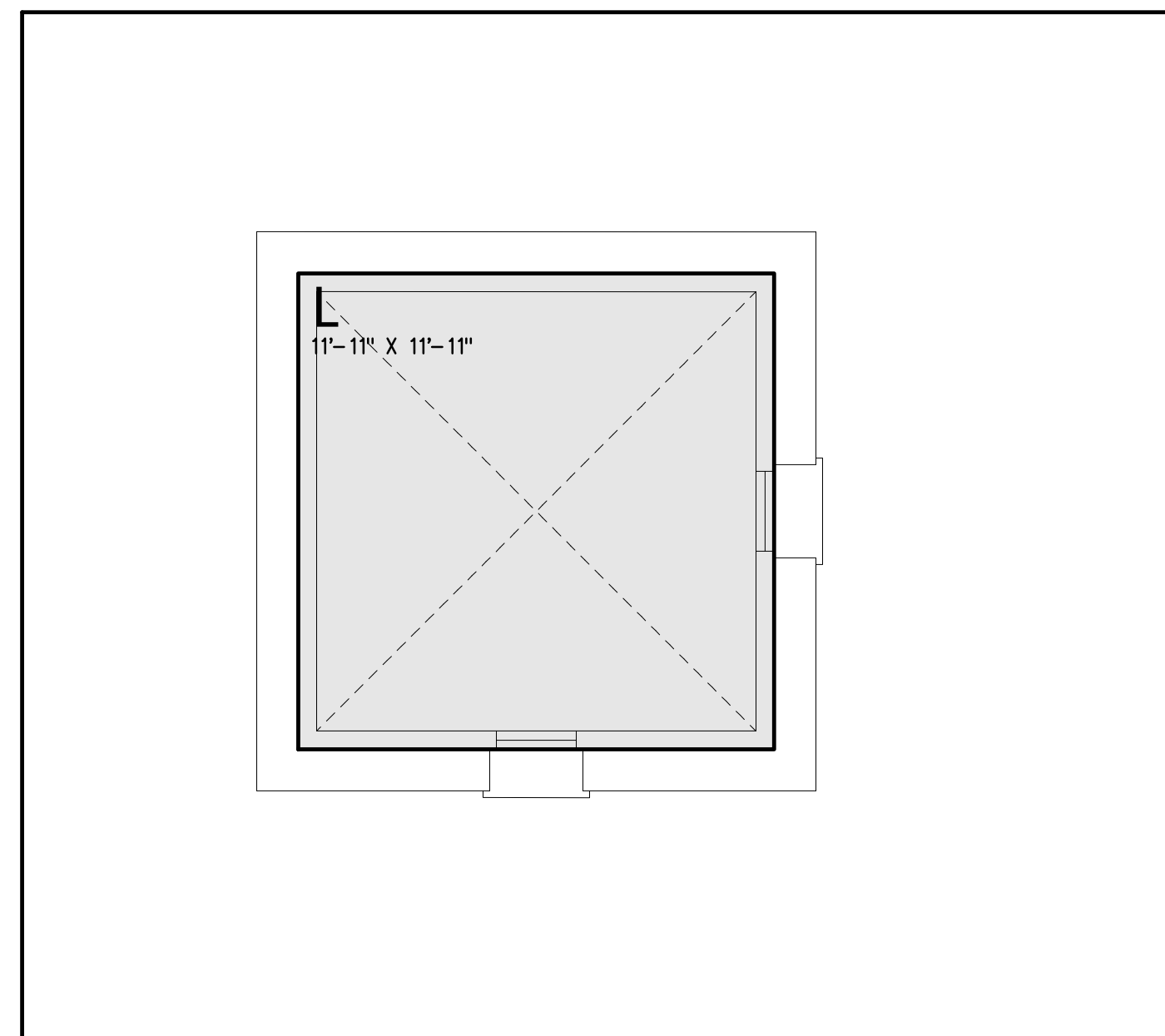
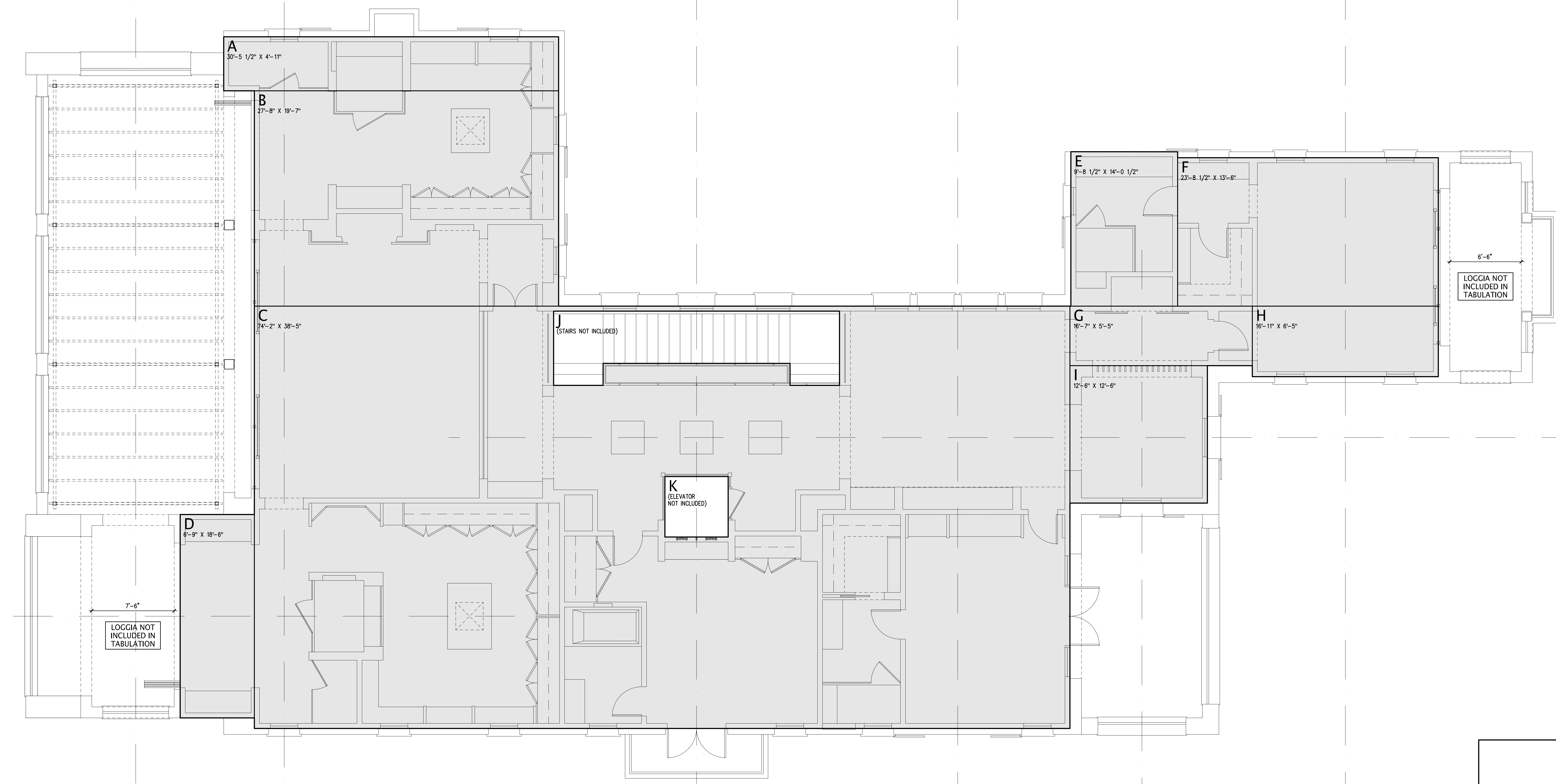
Sheet

SF.1

Tabulations

HOA Square Footage

Actual Square Footage



Upper Level Area Tabulations

SCALE: 1/4" = 1'-0" 1

Tower Area Tabulations

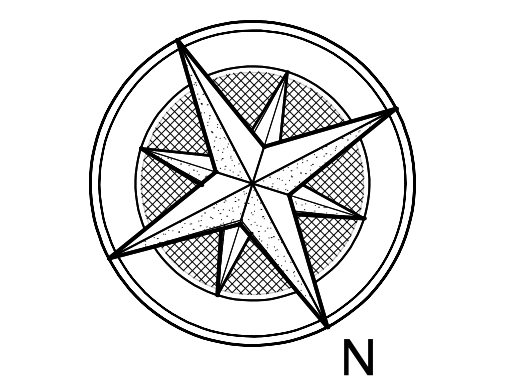
SCALE: 1/4" = 1'-0" 2

A	149.8 sf	G	89.8 sf
B	541.8 sf	H	108.5 sf
C	2,849.2 sf	I	156.3 sf
D	124.9 sf	J	NOT INCLUDED (-141.5) sf
E	136.3 sf	K	NOT INCLUDED (-31.6) sf
F	320.1 sf	L	142.0 sf

Basement	948.0 sf
Main Level	5,804.7 sf
Upper Level	4,303.6 sf
Tower	142.0 sf
Total	11,198.3 sf
Maximum Allowed	11,200.0 sf

Basement	
Conditioned Habitable	3,710.8 sf
Garage/Mechanical/Storage	3,716.2 sf
Uncovered Courtyard	929.0 sf
Main Level	
Conditioned Habitable	5,269.3 sf
Covered Loggias	1,664.4 sf
Uncovered Courtyard	422.8 sf
Upper Level	
Conditioned Habitable	4,486.0 sf
Covered Loggias	427.0 sf
Uncovered Terraces	1,158.7 sf
Total Conditioned Habitable	13,466.1 sf
Total Garage/Mechanical/Storage	3,716.2 sf
Total Covered Exterior	2,091.4 sf
Total Uncovered Exterior	2,510.5 sf

PLAN CHECK #



Project # 21002
ACC Sub #1
Plan Check #1
Preliminary Bid
Permit Issue
Rev. 1
Rev. 2
Rev. 3
Rev. 4
PLOT DATE: 10/4/2021

Tabulations

HOA Square Footage

Actual Square Footage